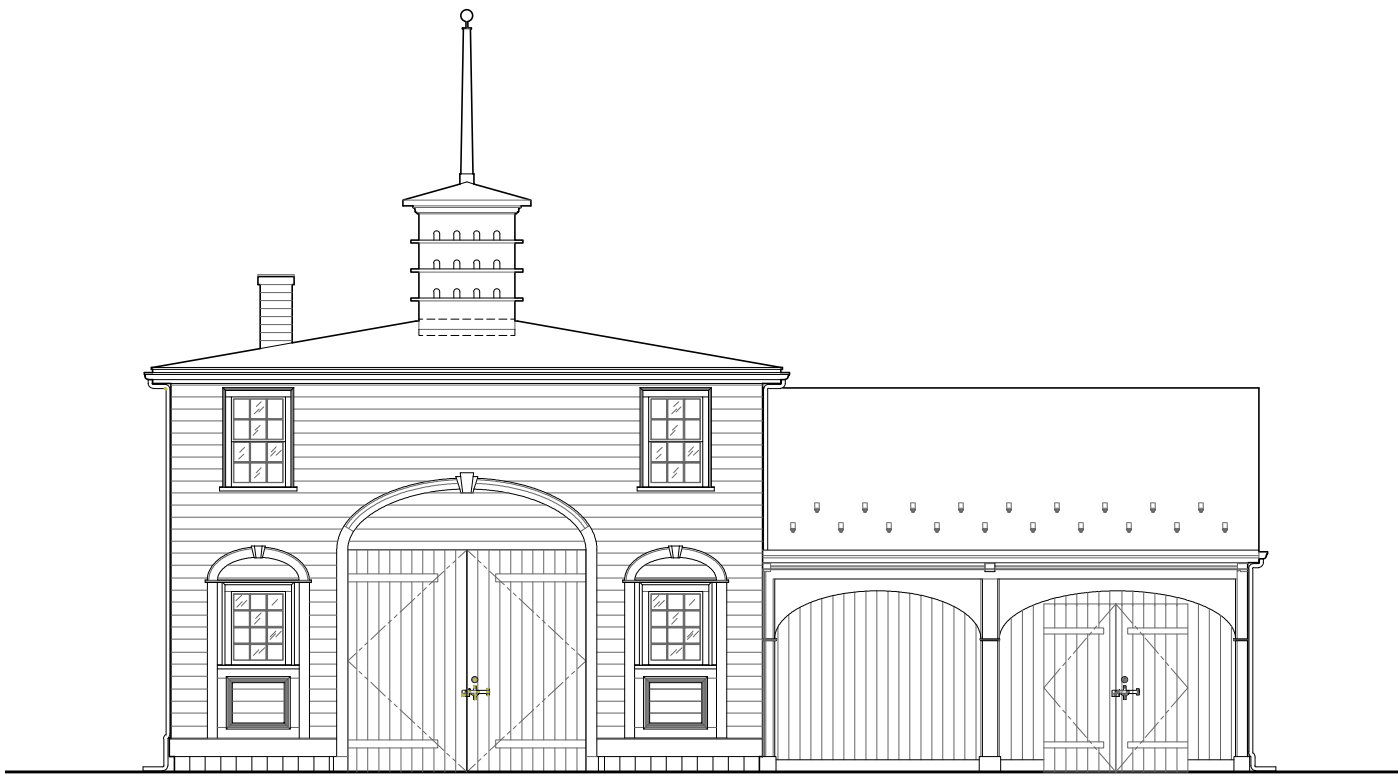


MANSION
EXTERIOR WORK



CARRIAGE HOUSE
INTERIOR WORK



COTTAGE
INTERIOR & EXTERIOR WORK

WHITTEMORE-ROBBINS ESTATE REHABILITATION OF THREE BUILDINGS

670R Massachusetts Avenue
Arlington, MA 02476-5003

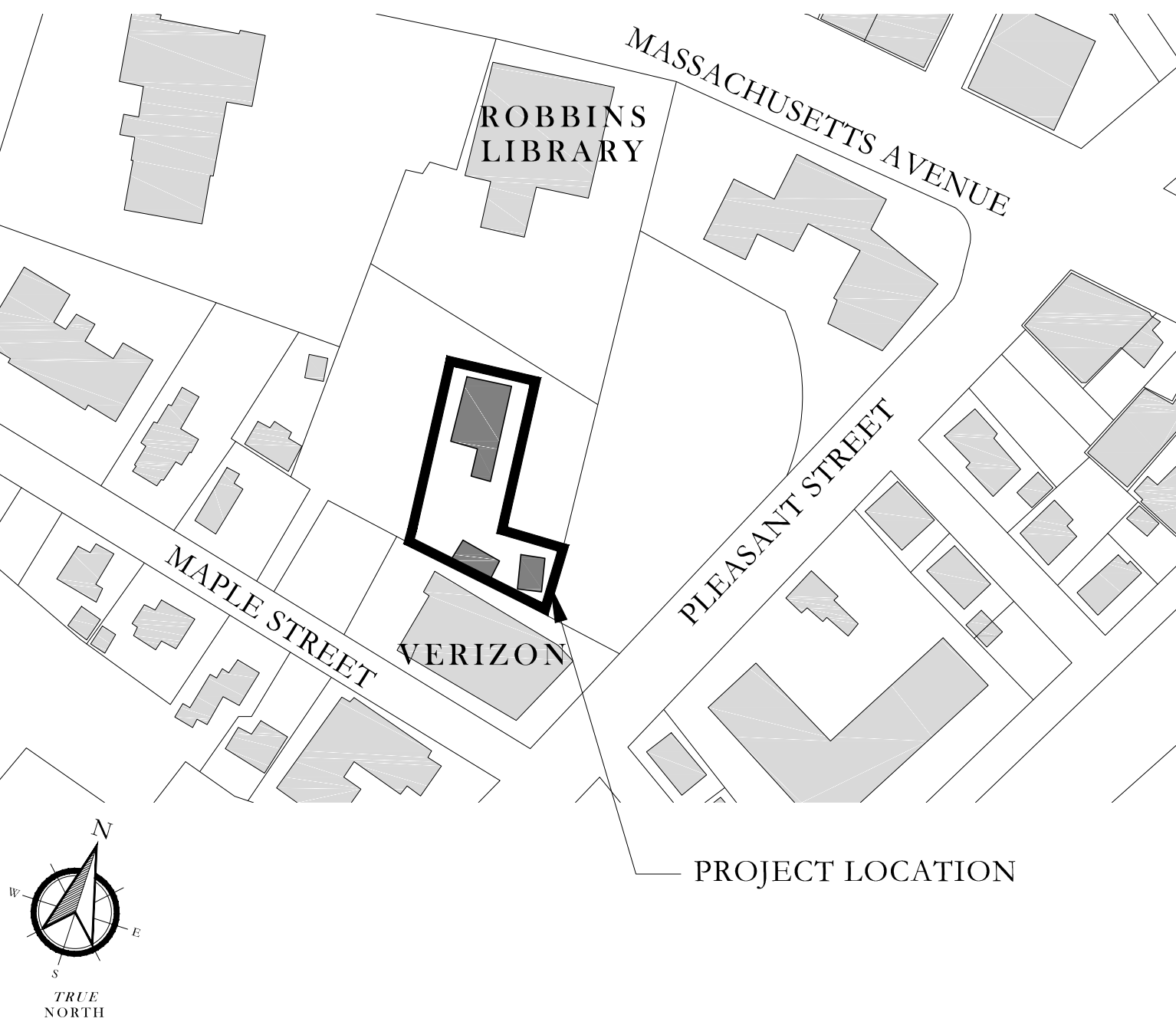
- FOR -



Town of Arlington
Department of Health & Human Services
730 Massachusetts Avenue
Arlington, MA 02476-4906

Christine Bongiorno - Director

LOCATION & MAP



DRAWING LIST

GENERAL:

CS	COVER SHEET
G-101	SYMBOLS & ABBREVIATIONS

SITE:

L-100	EXISTING SITE PLAN
L-101	SITE IMPROVEMENTS PLAN
L-102	ENLARGED SITE IMPROVEMENTS PLAN
L-103	ACCESSIBILITY RAMP TO COTTAGE - SHEET 1 OF 4 FINISH PLAN
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L-107	CARRIAGE HOUSE AND COTTAGE BASEMENT PLANS
L-108	ACCESSIBILITY RAMP TO MANSION - SHEET 1 OF 2
L-109	ACCESSIBILITY RAMP TO MANSION - SHEET 2 OF 2
L-110	A/C CONDENSER YARDS & MISC. DETAILS

STRUCTURAL:

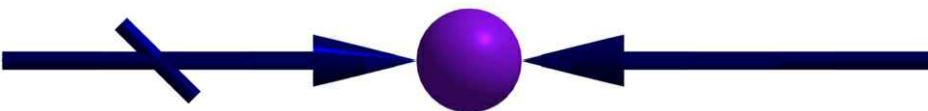
S0.1	COTTAGE - GENERAL NOTES
S1.1	COTTAGE - FOUNDATION & FIRST FLOOR FRAMING PLANS
S1.2	COTTAGE - SECOND FLOOR & ATTIC FRAMING PLANS
S1.3	COTTAGE - ROOF FRAMING PLAN
S3.1	COTTAGE - SECTIONS & DETAILS
SD1.1	COTTAGE - STRUCTURAL DEMOLITION PLAN

ARCHITECTURAL:

A-100	MANSION - EXISTING EXTERIOR ELEVATIONS
A-101	MANSION - EXISTING ROOF PLAN
A-102	MANSION - EXTERIOR ELEVATIONS
A-103	MANSION - WINDOWS
A-200	COTTAGE - EXISTING EXTERIOR ELEVATIONS
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A-202	COTTAGE - EXTERIOR - SOUTH ELEVATION
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A-208	COTTAGE - BASEMENT & FIRST DEMOLITION PLANS
A-209	COTTAGE - SECOND & ATTIC DEMOLITION PLANS
A-210	COTTAGE - BASEMENT & FIRST FLOOR PLANS
A-211	COTTAGE - SECOND & ATTIC FLOOR PLANS & ROOF PLAN
A-212	COTTAGE - STAIR MODIFICATIONS
A-213	COTTAGE - FIRST FLOOR INTERIOR ELEVATIONS
A-214	COTTAGE - SECOND FLOOR INTERIOR ELEVATIONS
A-215	COTTAGE - DOOR & WINDOW SCHEDULE
A-216	COTTAGE - HVAC EQUIPMENT SCHEDULE
A-300	CARRIAGE HOUSE - EXISTING FLOOR PLANS
A-301	CARRIAGE HOUSE - EXTERIOR ELEVATIONS
A-302	CARRIAGE HOUSE - GROUND FLOOR PLAN
A-303	CARRIAGE HOUSE - ATTIC FLOOR PLAN
A-304	CARRIAGE HOUSE - GROUND FLOOR REFLECTED CEILING PLAN
A-305	CARRIAGE HOUSE - INTERIOR ELEVATIONS - SHEET 1 OF 2
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A-307	CARRIAGE HOUSE - LARGE-SCALE BUILDING/WALL SECTIONS
A-308	CARRIAGE HOUSE - CEILING DETAILS
A-309	CARRIAGE HOUSE - STAIR DETAILS

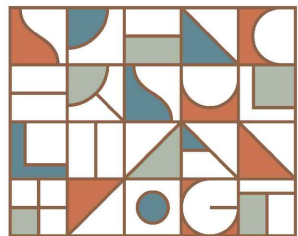
ELECTRICAL:

E1.1	COTTAGE - BASEMENT & FIRST FLOOR PLANS LIGHTING
E1.2	COTTAGE - BASEMENT & FIRST FLOOR PLANS POWER
E2.1	COTTAGE - SECOND & ATTIC FLOOR PLANS LIGHTING
E2.2	COTTAGE - SECOND & ATTIC FLOOR PLANS POWER
E3.1	CARRIAGE HOUSE - FIRST & SECOND FLOOR PLANS LIGHTING/POWER
E4.1	LEGEND, SCHEDULES, AND DETAILS
FA.1	COTTAGE - BASEMENT & FIRST FLOOR PLANS FIRE ALARM
FA.2	COTTAGE - SECOND & ATTIC FLOOR PLANS FIRE ALARM
FA.3	CARRIAGE HOUSE - FIRST FLOOR & ATTIC FLOOR PLANS FIRE ALARM



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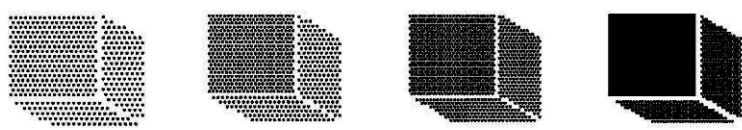
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GEN. ABBREVIATIONS

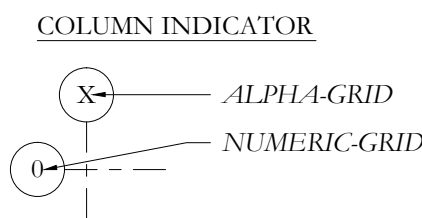
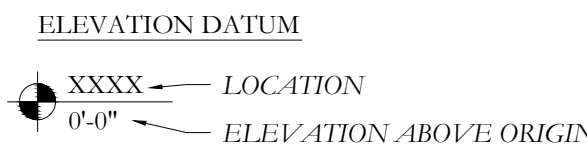
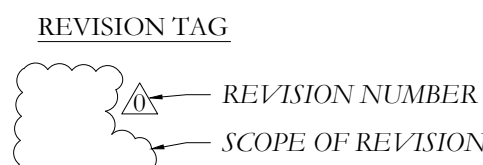
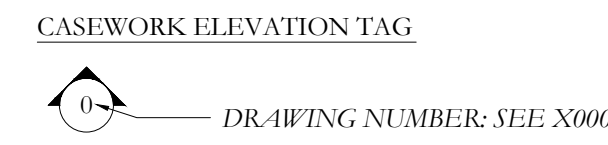
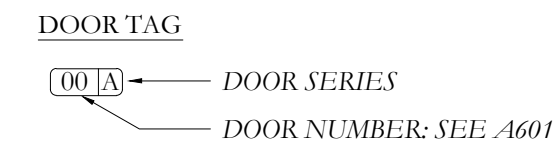
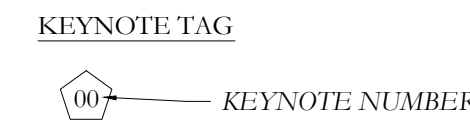
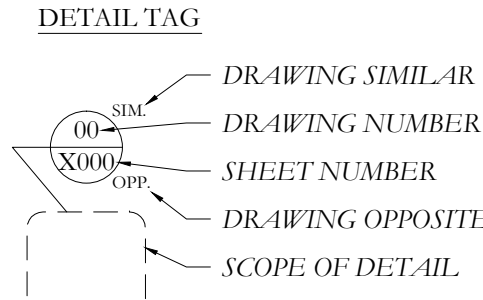
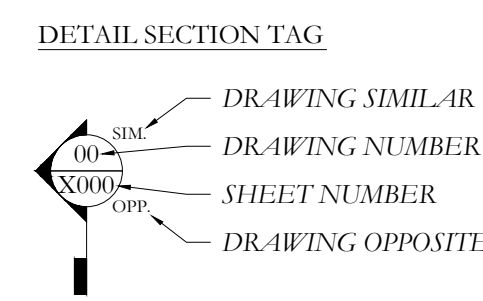
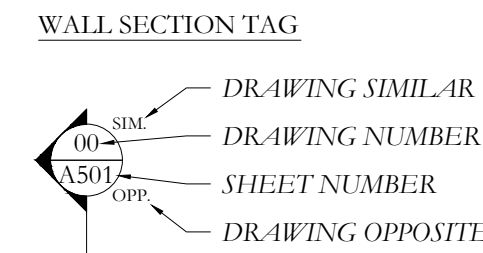
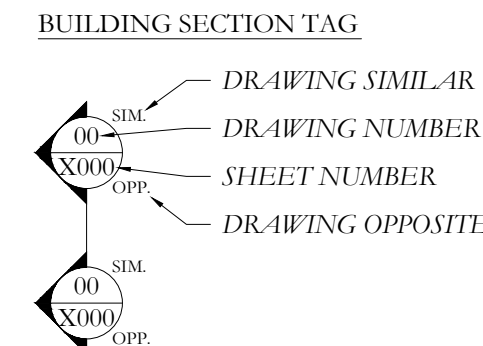
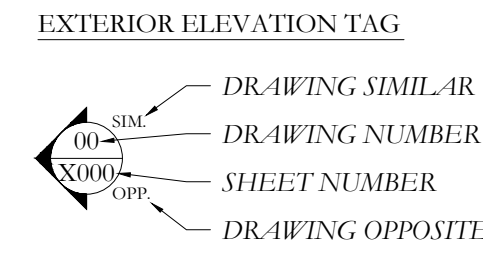
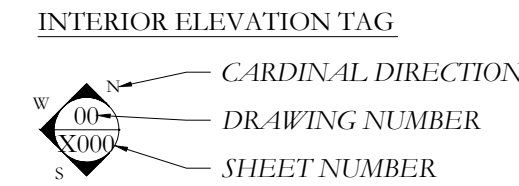
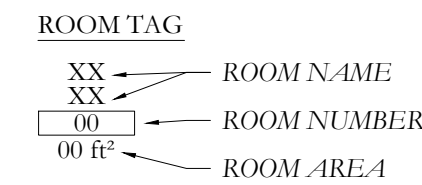
@	AT
A.B.	ANCHOR BOLT
A/C	AIR CONDITIONING
ACOUS	ACOUSTICAL
T	ACT
ACT	ACOUSTIC TILE
ACT	ACTUAL
A.D.	AREA DRAIN
ADDL	ADDITIONAL
ADJ	ADJUSTABLE, ADJUST
A.F.F.	ABOVE FINISHED FLOOR
AGGR	AGGREGATE
A.H.U.	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPRO	APPROXIMATE
X	ARCH
ARCH	ARCHITECTURAL
ASPH	ASPHALT
A.T.	ASPHALT TIME
L	ANGLE
B.C.	BRICK COURSE
B/C	BOTTOM OF CURB
BD	BOARD
B.E.J.	BRICK (BLOCK) EXPANSION JOINT
B.F.	BOTTOM OF FOOTING
BTUM	BTUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
B.M.	BENCHMARK MARK
BOT	BOTTOM
B.P.	BOTTOM OF POCKET
B.PL	BEARING PLATE / BASE PLATE
BRK	BRICK
B.S.	BOTH SIDES
B.U.R.	BUILT UP ROOTING
B/W	BOTTOM OF WALL
B.W.R.	BOTH WAYS WALL
CAB	CABINET
C.B.	CATCH BASIN
CEM	CEMENT
CFR	CERAMIC
CF.M.F.	COLD FORMED METAL FRAMING
C.H.	CABINET HEATER
CHKBD	CHALKBOARD
C.I.	CAST IRON
C.J.	CONTROL JOINT
CLG.	CEILING HEIGHT
HT	CLO
CLO	CLOSET
CLR	CLEAR
CLRM	CLASSROOM
C.M.U.	CONCRETE MASONRY UNIT
CNTR	COUNTER
C.O.	CLEAN OUT
COL	COLUMN
COMP	COMPACTED / COMPOSITION
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
C.L.L.	CONTRACT LIMIT LINE
CONT	R
R	CONTRACTOR
CONV	CONVECTOR
COOR	COORDINATE
D	CORR
CORR	CORRIDOR
C.P.	CONTROL PANEL
CPT	CARPET
C.R.	CEILING REGISTER
C.T.	CERAMIC TILE
CTR	CENTER
C.U.H.	CABINET UNIT HEATER
C.V.	C.V.
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
D.F.	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DIV	DIVISION
DN	DOWN
D.O.	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
D.S.S.P.	DRY STAND PIPE
DWG	DRAWING
DWL	DOWEL
E	EAST
EA	EACH
E.B.F.	EXISTING BOTTOM OF FOOTING
E.C.	EXPOSED CONSTRUCTION
EL.F.S.	EXTERIOR INSULATION & FINISH SYSTEM
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENGR	ENGINEER
E.P.	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXPD	EXPANDED
EXPO	EXPOSED
EXT	EXTERIOR
F.A.	FIRE ALARM
F.A.P.	FIRE ALARM PANEL
F.B.	FOOTING BREAK
F.BRK	FACE BRICK
F.D.	FLOOR DRAIN
FDN	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET (w/ EXTINGUISHER PROVIDED
F.F.	FACTORY FINISH
F.H.C.	FIRE HOSE CABINET

F.H.P.	FULL HEIGHT PARTITION
FIN	FINISH
FIN FL	FINISHED FLOOR
FIXT	FIXTURE
FL	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLOUR	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.G.	FACE OF GYPSUM BOARD
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.P.F.G	FIREPROOFING
F.R.	FIRE RATED
F.S.	FULL SIZE
FT	FOOT OR FEET
F.T.R.	FINNED TUBE RADIATION
FUR	FURRING
FUT	FUTURE
F.W.C.	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL	GLASS
GLZ	GLAZE
GND	GROUND
GRD	GRADE
GWB	GYPSUM WALL BOARD
GYP	
BD	GYPSUM BOARD / GYPSUM BOARD UNIT
H.B.	HOSE BIBB
HC	HANDICAPPED
H.C.	HOLLOW CORE
HD	HEAD
H.P.	HIGH POINT
HW	HARDWOOD
HDW	HARDWARE
H.M.	HOLLOW METAL
HOR	HORIZONTAL
HTG	HEATING
HT	HEIGHT
H%V	HEATING AND VENTILATION
H.U.	HEATING UNIT
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INCAN	D
D	INCANDESCENT
INCL	INCLUDE
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
L.P.S.	IRON PIPE SIZE
JAN	JANITOR
JST	JOIST
JT	JOINT
KIP	[1000 POUNDS]
KIT	KITCHEN
LAM	LAMINATED
LAV	LAVATORY
LCKR	LOCKER
L.F.	LINEAR FOOT
L.L.	LIVE LOAD
L.P.	LOW POINT
LT	LIGHT
MAS	MASONRY
MTL	MATERIAL
MAX	MAXIMUM
M.C.	MASONRY COURSE
MECH	MECHANICAL
MEMB	MEMBRANE
MET	METAL
MET	METAL TOILER PARTITION
T.P.	
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD	MOUNTED
M.U.	MASONRY UNIT
MULL	MULLION
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM	NOMINAL
N.R.C.	NOISE REDUCTION COEFFICIENT
N.T.S.	NOT TO SCALE
O/A	OUTSIDE AIR
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OUTSIDE FACE
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
O.H.	OPPOSITE HAND
O.W.S.J.	OPEN WEB STEEL JOIST
OZ	OUNCE
PART	PARTITION
PL	PATE
P.LAM	PLASTIC LAMINATE
PLS	PLASTER
PLYWD	PLYWOOD
PR	PAIR
PREFAB	
B	PREFABRICATED
PROJ	PROJECTION
PROP	PROPERTY
PTD	PAINTED
P.T.D.	PAPER TOWEL DISPENSER
Q.T.	QUARRY TILE
R	RISER (RADIUS)
R/A	RETURN AIR
RAD	RADIATION
R.B.	RESILIENT BASE
R.D.	ROOF DRAIN
RECTPT	RECEPTACLE
REF	REFERENCE
REFL	REFLECTED, REFLECTIVE

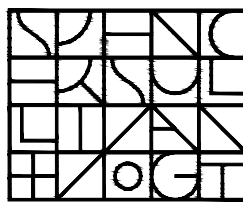
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCING
REQD	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION
RM	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
R.T.	RUBBER TILE
RV	ROOF VENT
RWD	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.F.P.F.G	SPRAYED-ON FIREPROOFING
S.C.	SOLID CORE
S.C.D.	SEAT COVER DISPENSER
SCHED	SCHEDULE
S.D.	SOAP DISPENSER
SEC	SECTION
S.F.	SQAURE FOOT
S.G.F.T.	STRUCTURAL GLAZED FACING TILE
SH	SHELF
SHT	SHEET
SIM	SIMILAR
S.N.D.	SANITARY NAPKIN DISPENSER
S.N.R.	SANITARY NAPKIN RECEPTACLE
SPIC	SPECIFICATIONS
SPKLR	SPRINKLER
SP/PT/	FIN
FIN	SPECIAL PAINT FINISH
S.P.R.	SINGLE PLY ROOF
SQ	SQUARE
S.S.	SOLID SURFACE
S.SK.	SERVICE SINK
S.STL.	STAINLESS STEEL
STA	STATION
STD	STANDARD
ST.FT	STEP FOOTING
STIFF	STIFFENERS
STL	STEEL
STOR	STORAGE
S.T.R.	SOUND TRANSMISSION
STRUC	T
T	STRUCTURAL
SUR	SURFACE
SUSP	SUSPENDED
S.V.	STAIN AND VARNISH
SYM	SYMMETRICAL
T	TREAD
T&B	TOP AND BOTTOM
TB	TACKBOARD
T.B.	TOWEL BAR
T.C.	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPERED
TERR	TERRAZZO
T.F.	TOP OF FOUNDATION
T&G.	TONGUE AND GROOVE
THK	THICK
THRES	THRESHOLD
T/P	TOP OF PAVEMENT
T.P.D.	TOILER PAPER DISPENSER
T/PR	TOP OF PIER
T/S	TOP OF SLAB
T/SH	TOP OF SHELF
T/STL	TOP OF STEEL
TV	TELEVISION
T/W	TOP OF WALL
TYP	TYPICAL
U.H.	UNIT HEATER
U.L.	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
UR	URINAL
U.V.	UNIT VENTILATOR
V.C.	VINYL BASE
V.C.T.	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
V.F.	VINYL GRAIN
V.G.	VERIFY
V.I.F.	IN FIELD
VOL	VOLUME
V.W.C.	VINYL WALLCOVERING
W.	WEST
W/	WITH
W.C.	WATER CLOSET
WD	WOOD
WND	WINDOW
W/O	WITHOUT
WP	WATERPROOF
W.P.T.	WORKING PAINT
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

GENERAL SYMBOLS:

DRAWING INDICATOR



ARCHITECT:



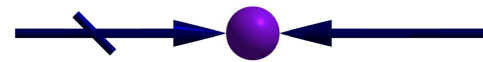
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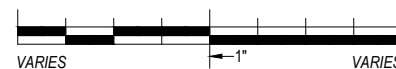
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00	Xxx. 00, 0000	DESCRIPTION
#	DATE	DESCRIPTION

ISSUANCES:

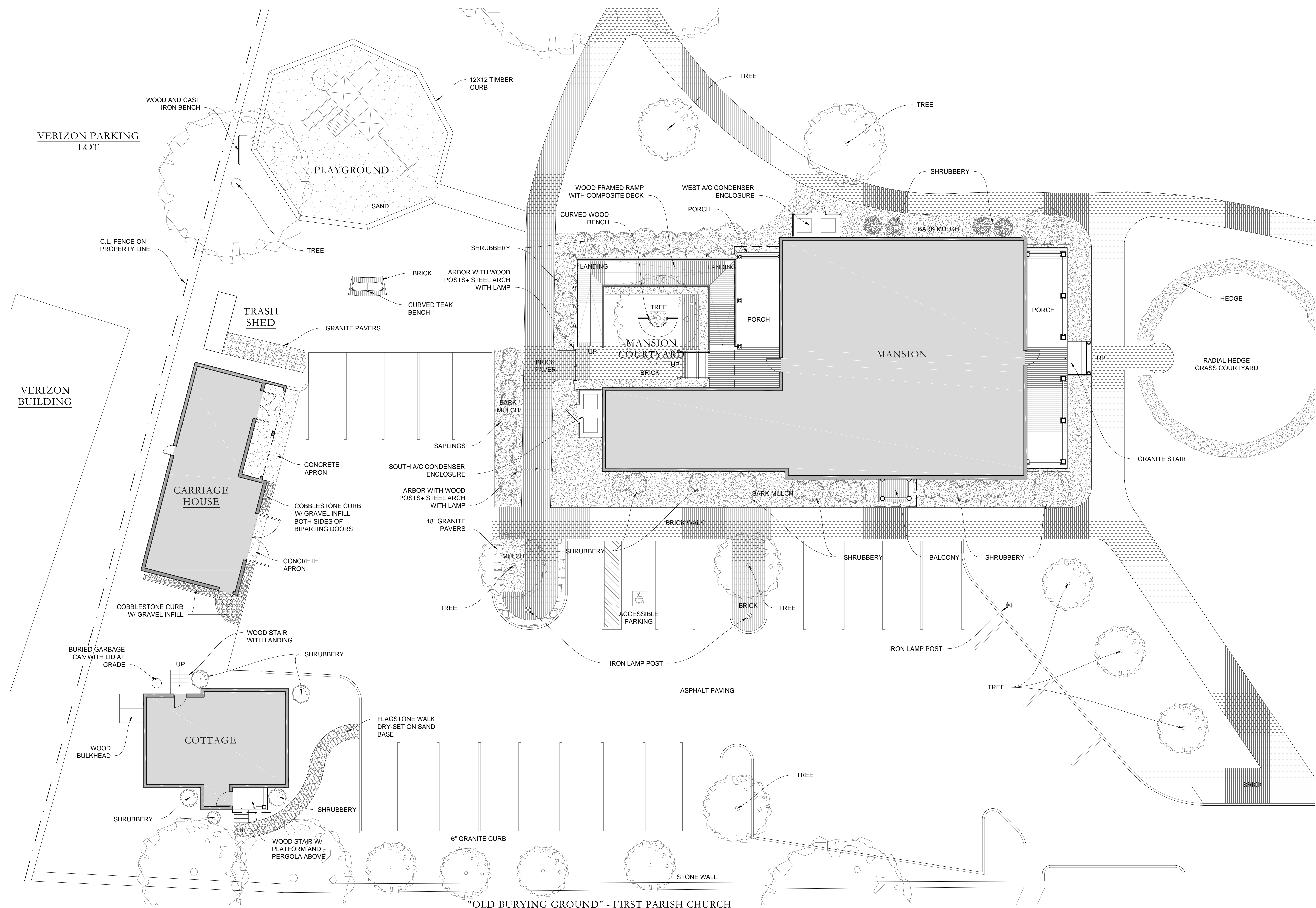
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SYMBOLS &
ABBREVIATIONS

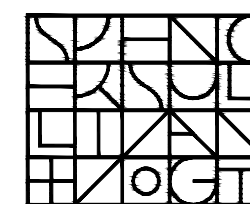
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G-101



1 EXISTING SITE PLAN
1" = 10'-0"

ARCHITECT:



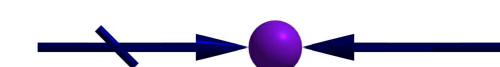
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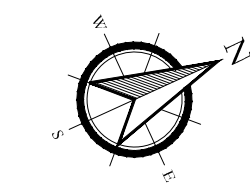
Town of Arlington
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PROJECT: #1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

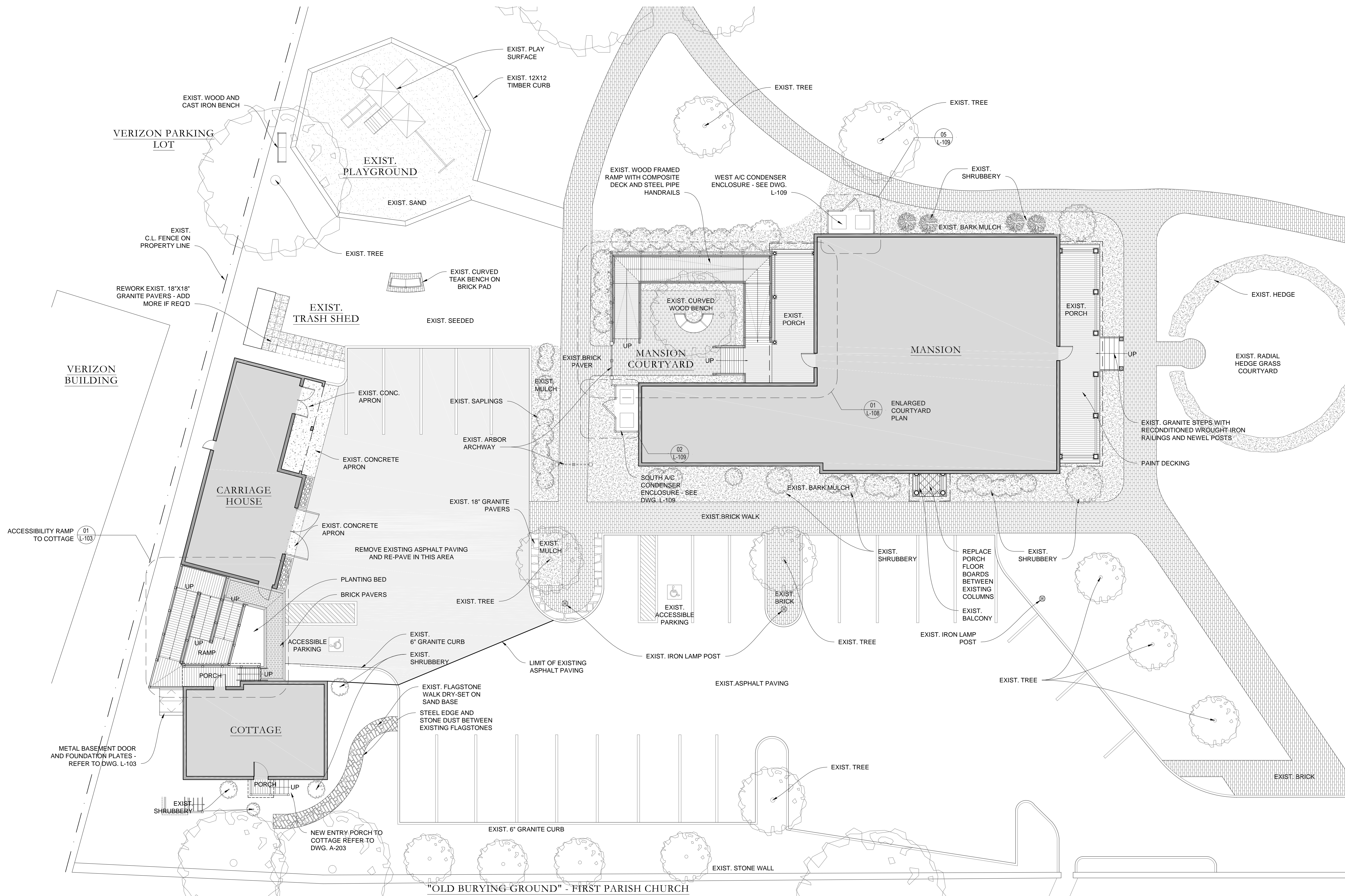
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SEAL:

SHEET TITLE:
EXISTING SITE PLAN

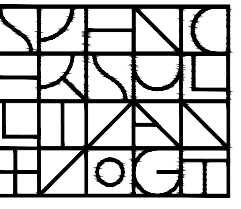
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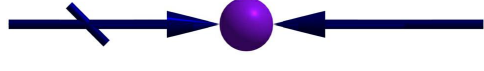
1 SITE IMPROVEMENTS PLAN
1" = 10'-0"

ARCHITECT:



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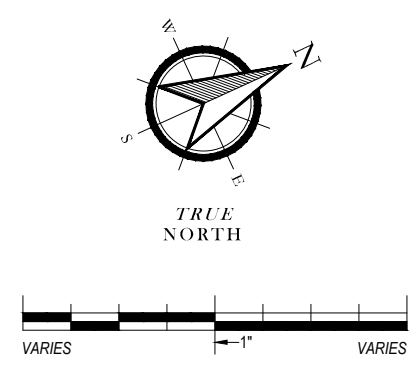

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Telephone: (617) 484-4733
www.MacLeod-Consulting.com

OWNER:


Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00
**WHITTEMORE-ROBBINS ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION**
670R Massachusetts Avenue
Arlington, MA 02476

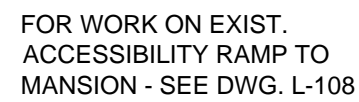
KEY:


TRUE NORTH
VARIES 1" VARIES

00	Xxx. 00, 0000	DESCRIPTION
#	DATE	DESCRIPTION
ISSUANCES:		
SEAL:		

SHEET TITLE:
**SITE IMPROVEMENTS
PLAN**

SHEET #:
L-101



1 Thompson Square | Suite 504
Charlestown, MA 02129-3308
T: (617) 861-4291
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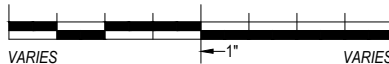
5 Upland Avenue | Boston, Massachusetts 02124-2132
Telephone: (617) 436-4962 | AJCannata@verizon.net

A diagram of a closed system. A horizontal blue cylinder is shown with a blue piston on the right end. Inside the cylinder is a blue sphere. The piston is connected to a blue rod that passes through the top of the cylinder, which is sealed. The rod has a blue handle on the left end. The cylinder is labeled 'Closed System'.

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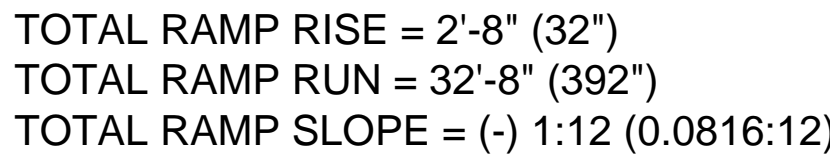
The seal of the Town of Arlington, Massachusetts, is a circular emblem. The outer ring contains the text "TOWN OF ARLINGTON" at the top and "MASSACHUSETTS" at the bottom. The center features a shield with a landscape scene, including a body of water, a small boat, and a lighthouse. Above the shield is a crest with a figure holding a staff. A banner below the shield reads "1780-1820".

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION

SEAL

L-102

1. ALL WOOD AT RAMP AND PORCH EXPOSED TO VIEW SHALL BE PAINTED



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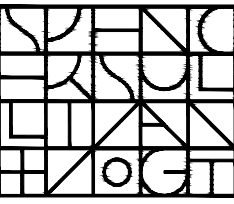
The seal of the Town of Arlington, Massachusetts, is a circular emblem. It features a central shield depicting a landscape with a body of water, a small boat, and a large tree. Above the shield is a crest with a bent arm holding a sword. The shield is surrounded by a ribbon with the motto "PER SEQUITUR LIBERTAS". The outer ring of the seal contains the text "TOWN OF ARLINGTON" at the top and "MASSACHUSETTS" at the bottom.

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
*SITE IMPROVEMENTS AND
REHABILITATION*

SEAL:

L-103

ARCHITECT:



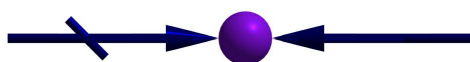
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OWNER:



Town of Arlington
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Arlington, MA 02476-4906

PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

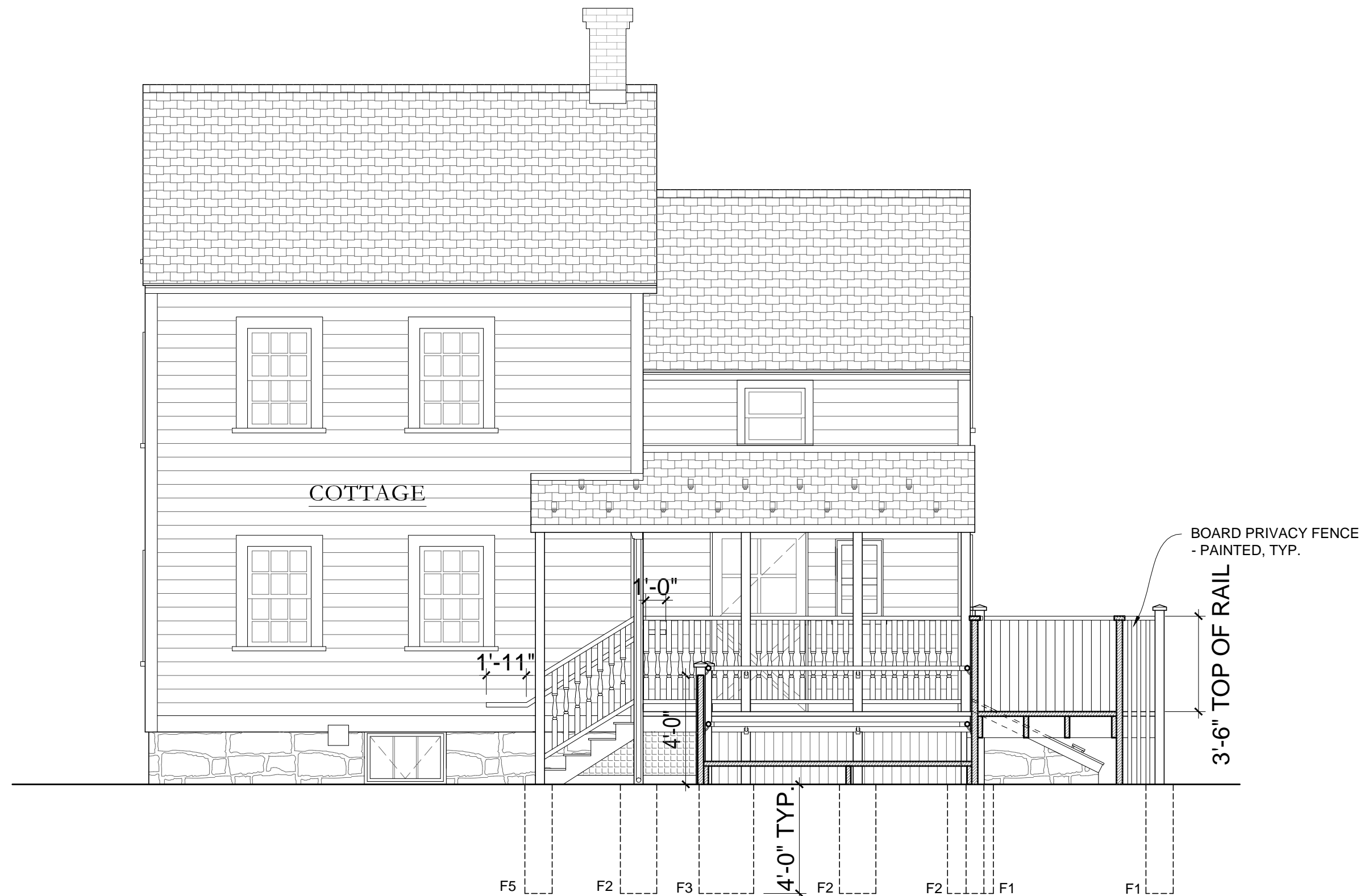
ISSUANCES:

SEAL:

SHEET TITLE:
ACCESSIBILITY RAMP TO
COTTAGE SHEET 2 OF 4

SHEET #:

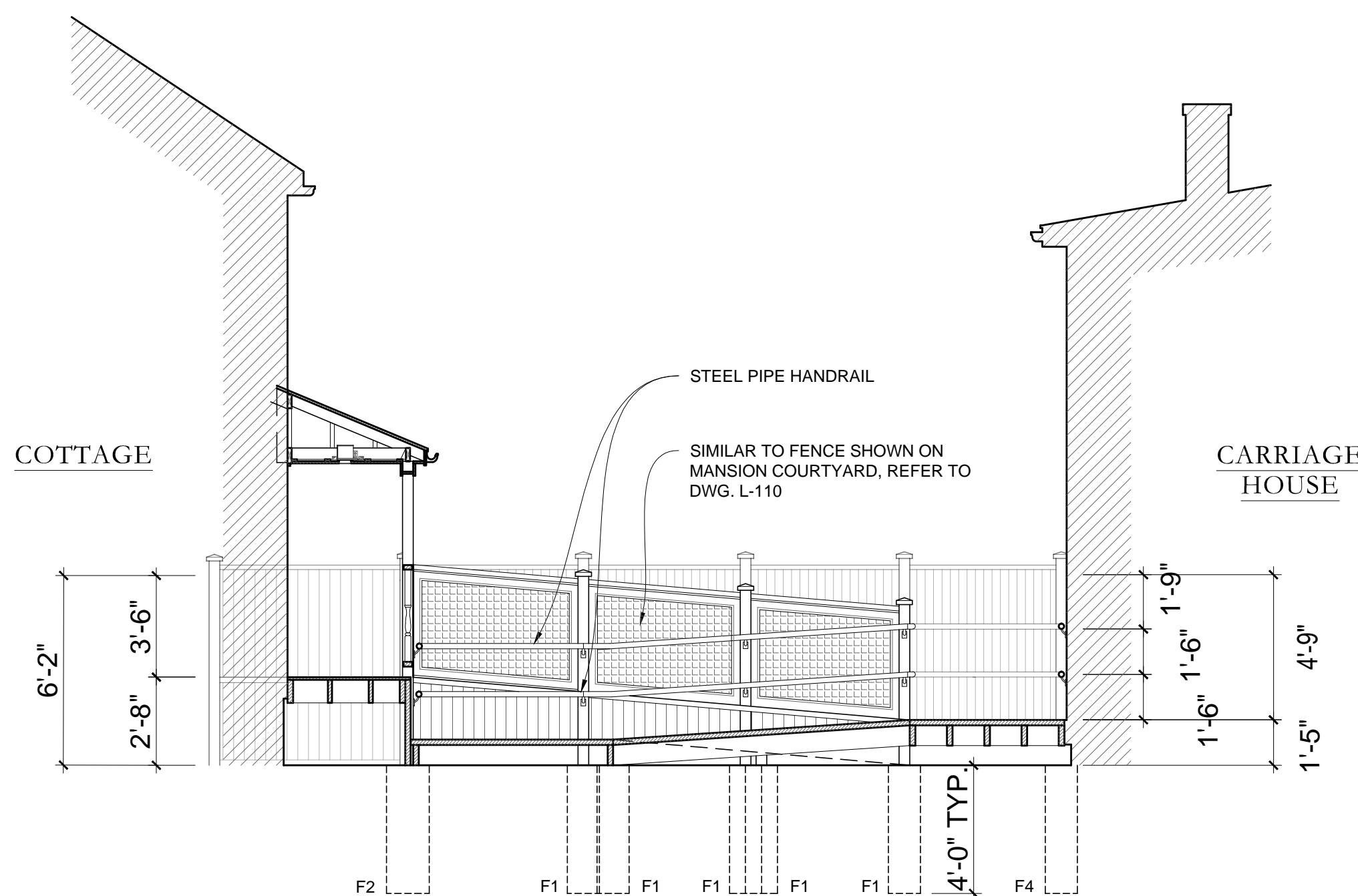
L-104



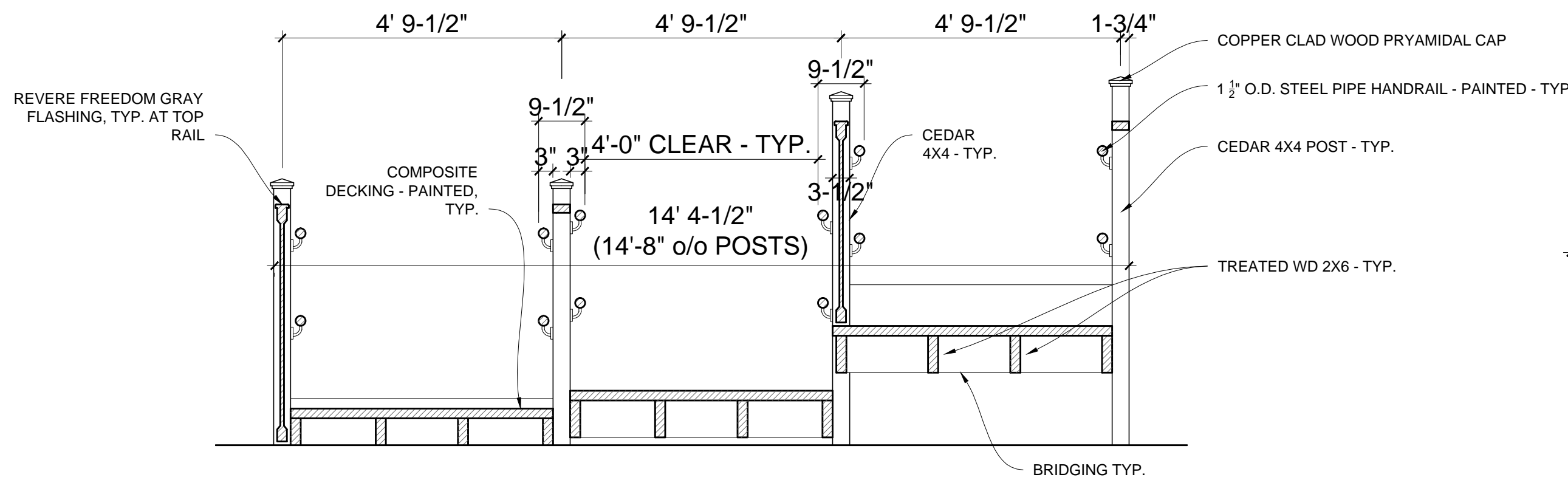
1 SECTION / ELEVATION
1/4" = 1'-0"



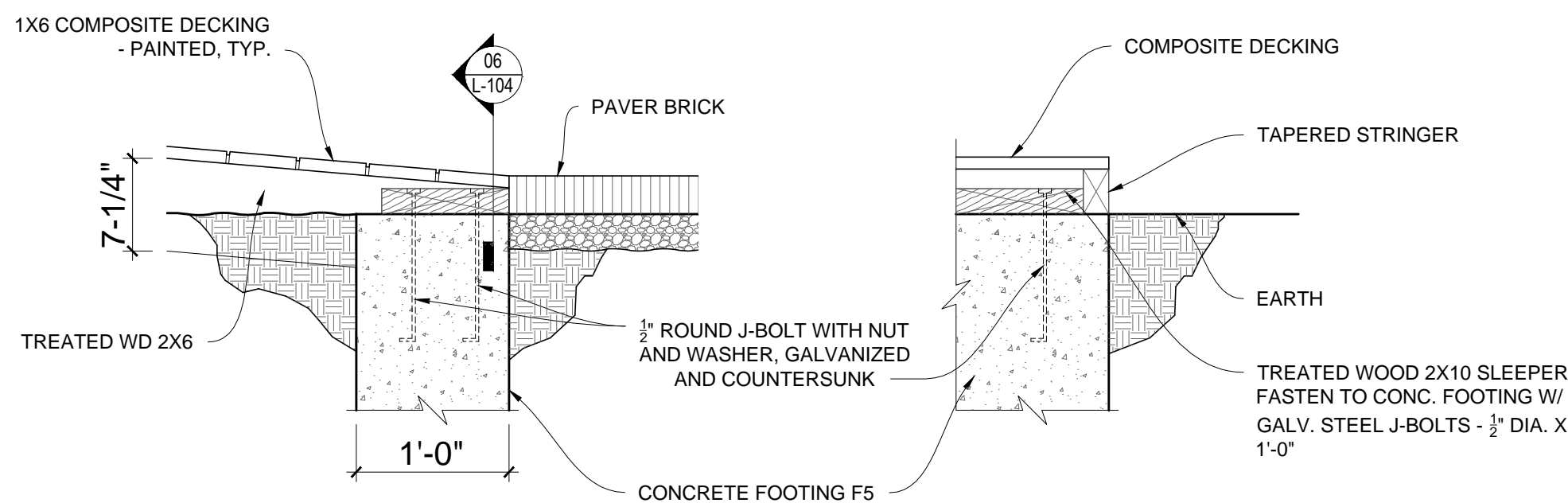
2 ELEVATION - RAMP AREA BETWEEN COTTAGE AND CARRIAGE HOUSE
1/4" = 1'-0"



3 SECTION THROUGH RAMP LOOKING SOUTH
1/4" = 1'-0"

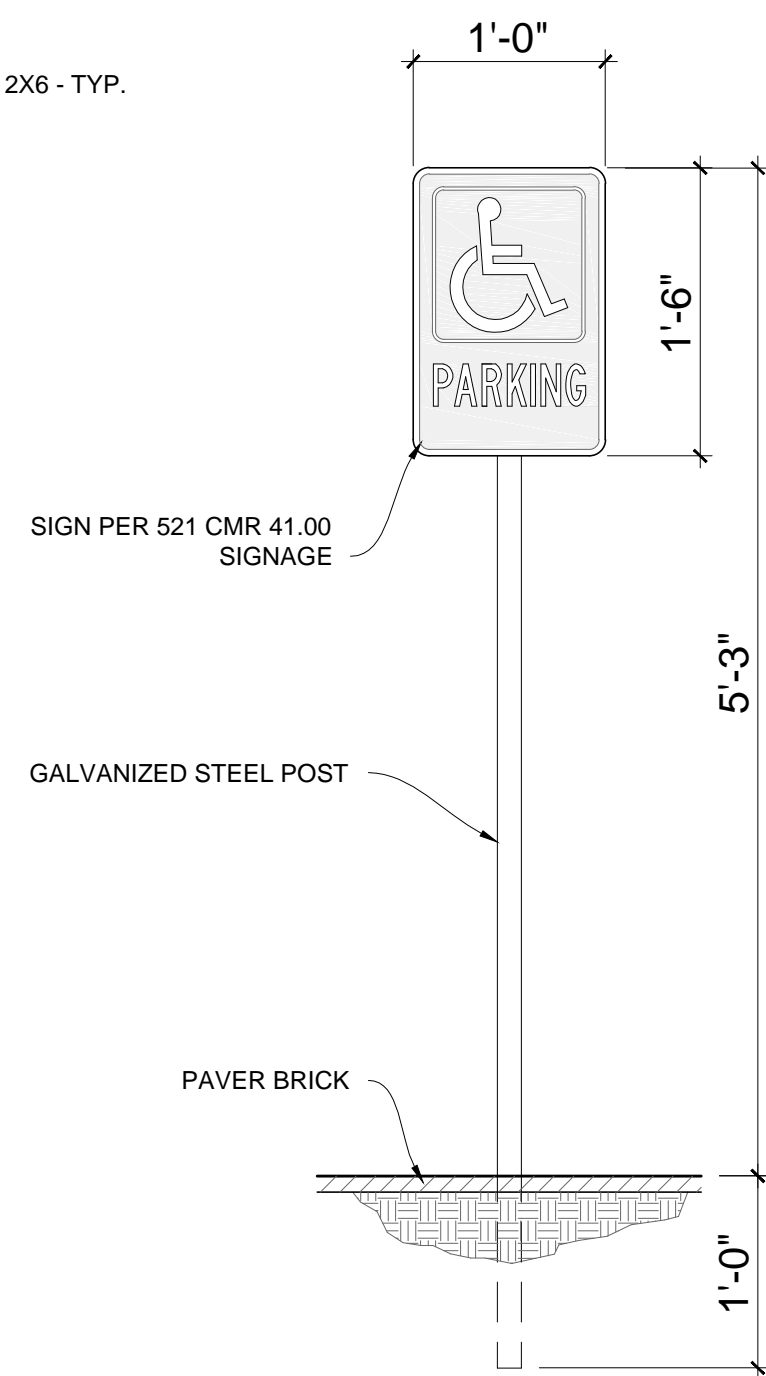


4 SECTION THROUGH RAMP LOOKING EAST
1/2" = 1'-0"



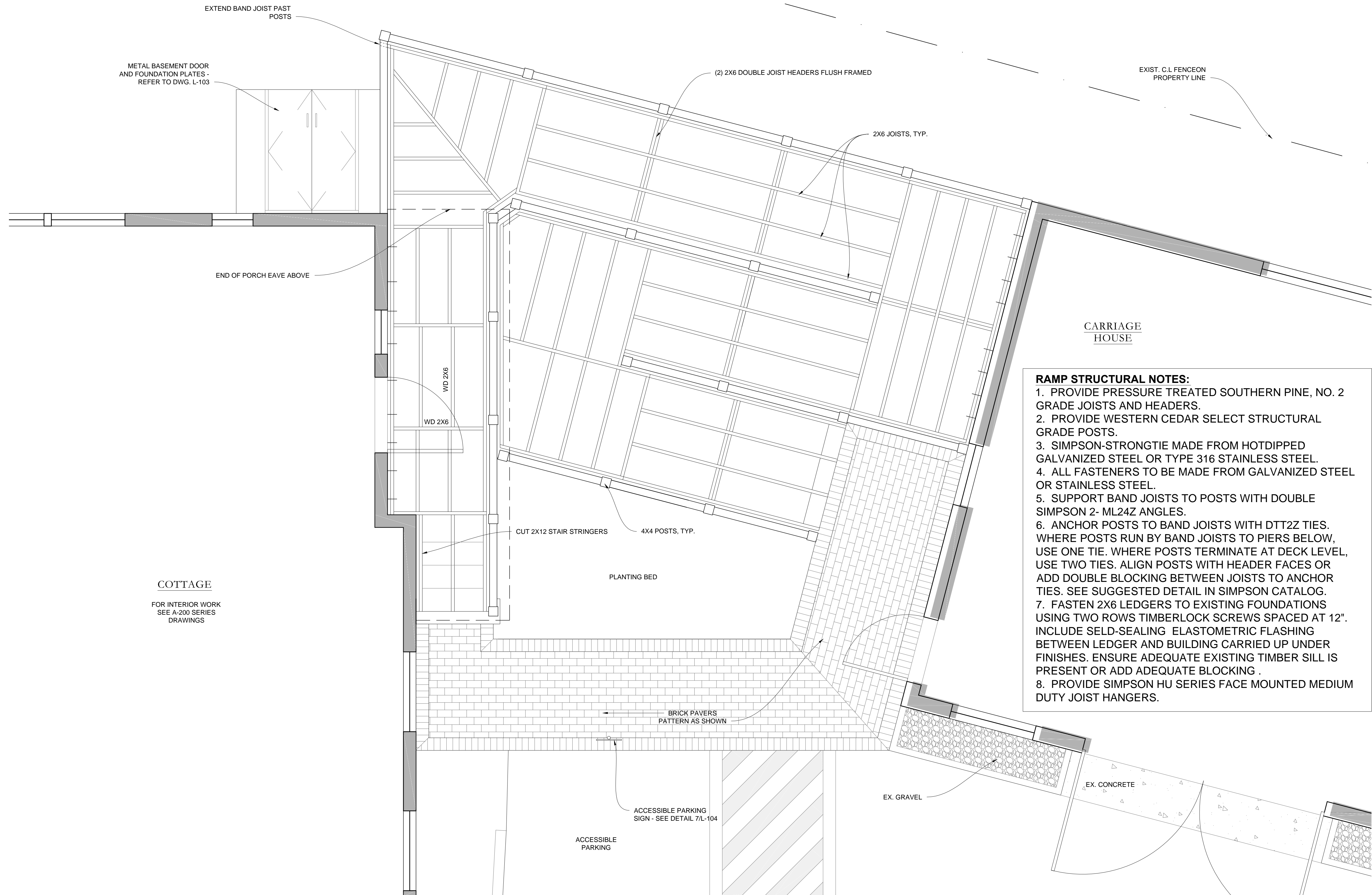
5 RAMP BASE
1" = 1'-0"

6 SECTION
1" = 1'-0"



7 ACCESSIBLE PARKING SIGN
1" = 1'-0"

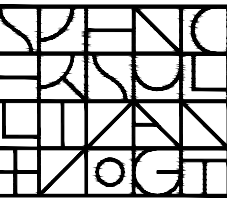
GENERAL NOTES:
1. FOR POST LOCATIONS SEE FOUNDATION PLAN ON DWG. L-106
2. REFER TO DWG. L-103 & L-104 FOR RAMP DIMENSIONS



RAMP STRUCTURAL NOTES:
1. PROVIDE PRESSURE TREATED SOUTHERN PINE, NO. 2 GRADE JOISTS AND HEADERS.
2. PROVIDE WESTERN CEDAR SELECT STRUCTURAL GRADE POSTS.
3. SIMPSON-STRONGTIE MADE FROM HOTDIPPED GALVANIZED STEEL OR TYPE 316 STAINLESS STEEL.
4. ALL FASTENERS TO BE MADE FROM GALVANIZED STEEL OR STAINLESS STEEL.
5. SUPPORT BAND JOISTS TO POSTS WITH DOUBLE SIMPSON 2- ML24Z ANGLES.
6. ANCHOR POSTS TO BAND JOISTS WITH DTT2Z TIES. WHERE POSTS RUN BY BAND JOISTS TO PIERS BELOW, USE ONE TIE. WHERE POSTS TERMINATE AT DECK LEVEL, USE TWO TIES. ALIGN POSTS WITH HEADER FACES OR ADD DOUBLE BLOCKING BETWEEN JOISTS TO ANCHOR TIES. SEE SUGGESTED DETAIL IN SIMPSON CATALOG.
7. FASTEN 2X6 LEDGERS TO EXISTING FOUNDATIONS USING TWO ROWS TIMBERLOCK SCREWS SPACED AT 12". INCLUDE SELD-SEALING ELASTOMETRIC FLASHING BETWEEN LEDGER AND BUILDING CARRIED UP UNDER FINISHES. ENSURE ADEQUATE EXISTING TIMBER SILL IS PRESENT OR ADD ADEQUATE BLOCKING .
8. PROVIDE SIMPSON HU SERIES FACE MOUNTED MEDIUM DUTY JOIST HANGERS.

1 FRAMING PLAN
1/2" = 1'-0"

ARCHITECT:




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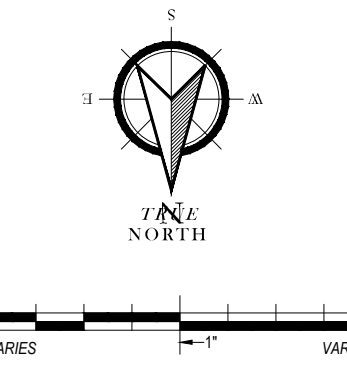
Town of Arlington
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PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION

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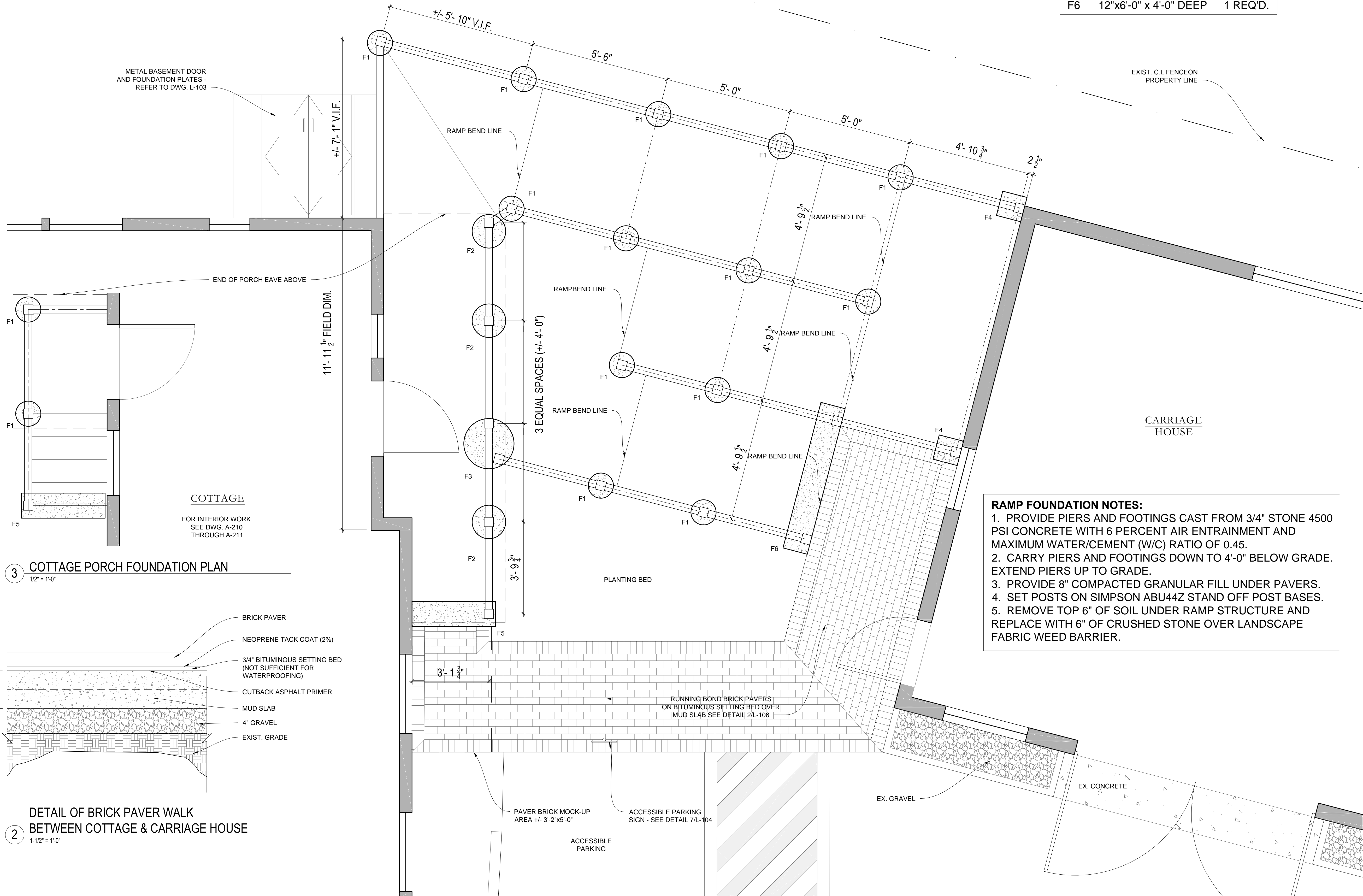
KEY:



00 Xxx. 00, 0000 DESCRIPTION
DATE DESCRIPTION
ISSUANCES:
SEAL:

SHEET TITLE:
ACCESSIBILITY RAMP TO
COTTAGE - SHEET 3 OF 4
RAMP FRAMING PLAN

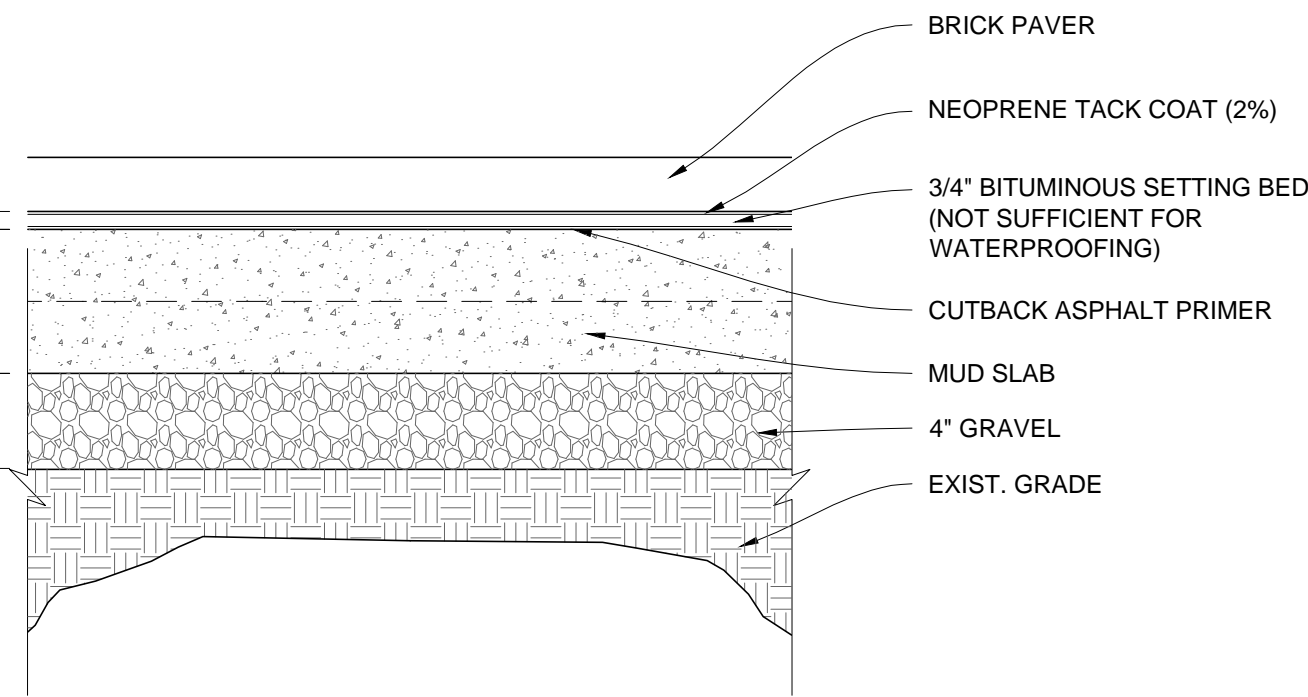
SHEET #:
L-105



CONCRETE FOOTING SCHEDULE		
F1	12"Ø x 4'-0" DEEP	15 REQ'D.
F2	16"Ø x 4'-0" DEEP	3 REQ'D.
F3	24"Ø x 4'-0" DEEP	1 REQ'D.
F4	12"□ x 4'-0" DEEP	2 REQ'D.
F5	12"x3'-4" x 4'-0" DEEP	2 REQ'D.
F6	12"x6'-0" x 4'-0" DEEP	1 REQ'D.

- RAMP FOUNDATION NOTES:**
1. PROVIDE PIERS AND FOOTINGS CAST FROM 3/4" STONE 4500 PSI CONCRETE WITH 6 PERCENT AIR ENTRAINMENT AND MAXIMUM WATER/CEMENT (W/C) RATIO OF 0.45.
 2. CARRY PIERS AND FOOTINGS DOWN TO 4'-0" BELOW GRADE. EXTEND PIERS UP TO GRADE.
 3. PROVIDE 8" COMPACTED GRANULAR FILL UNDER PAVERS.
 4. SET POSTS ON SIMPSON ABU44Z STAND OFF POST BASES.
 5. REMOVE TOP 6" OF SOIL UNDER RAMP STRUCTURE AND REPLACE WITH 6" OF CRUSHED STONE OVER LANDSCAPE FABRIC WEED BARRIER.

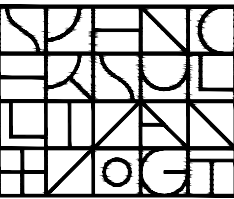
3 COTTAGE PORCH FOUNDATION PLAN
1/2" = 1'-0"



2 DETAIL OF BRICK PAVER WALK
BETWEEN COTTAGE & CARRIAGE HOUSE
1-1/2" = 1'-0"

1 FOUNDATION PLAN
1/2" = 1'-0"

ARCHITECT:



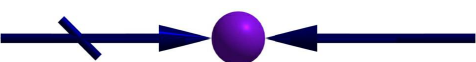
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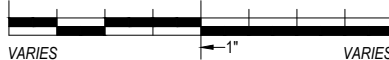
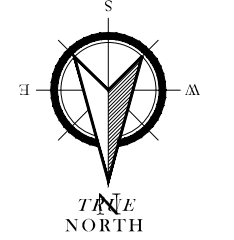
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**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION**

670R Massachusetts Avenue
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KEY:



00 Xxx. 00, 0000 DESCRIPTION

DATE DESCRIPTION

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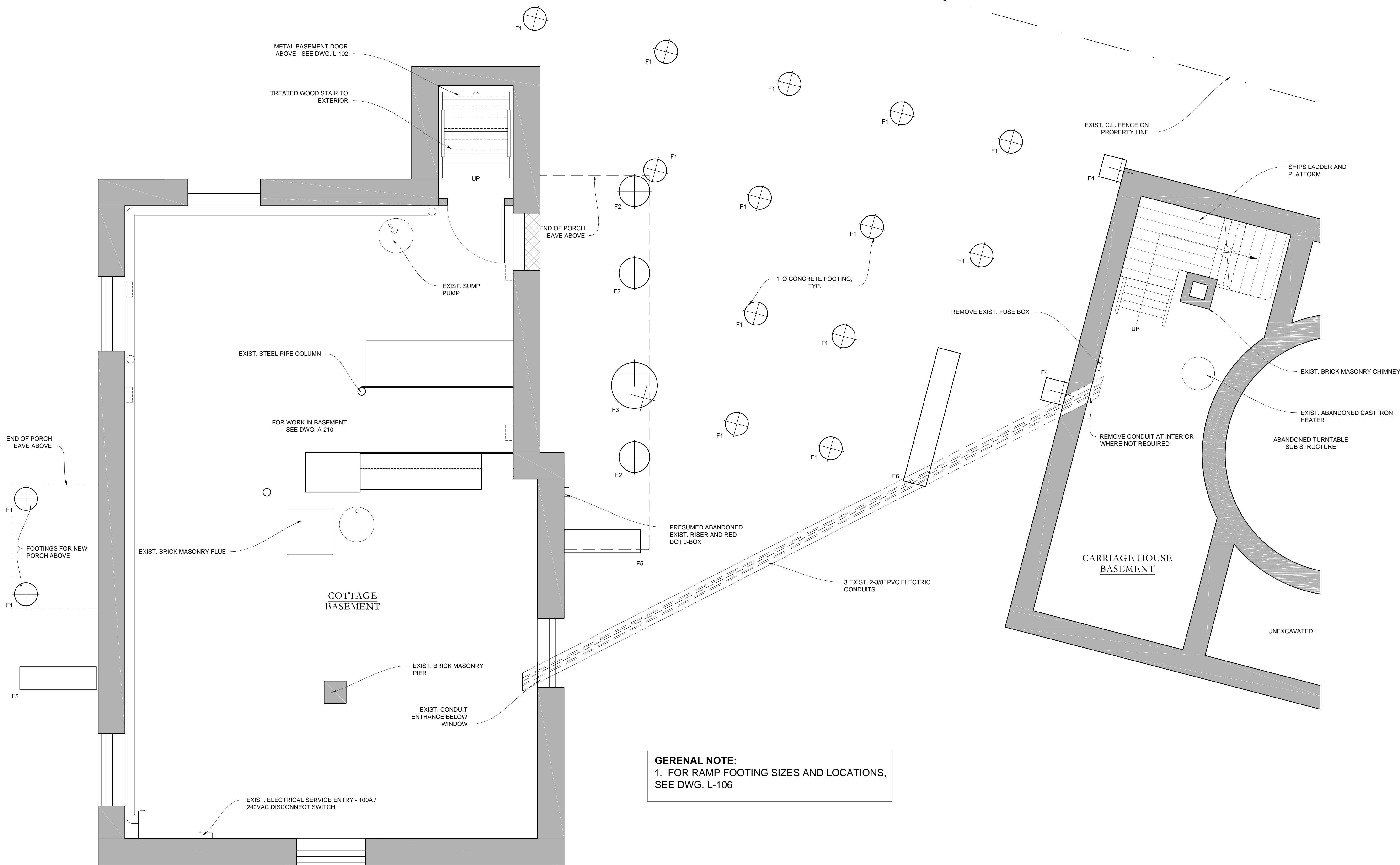
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SHEET TITLE:

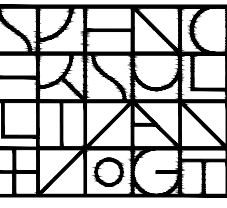
**ACCESSIBILITY RAMP TO
COTTAGE - SHEET 4 OF 4
FOUNDATION PLAN**

SHEET #:


L-106




1 BASEMENT PLAN
1/2" = 1'-0"

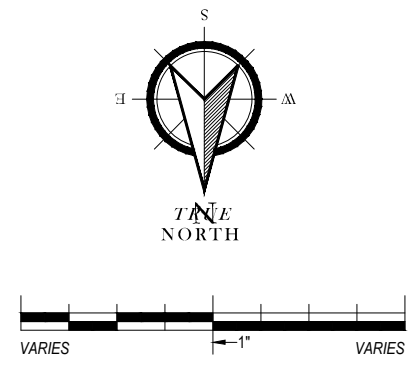
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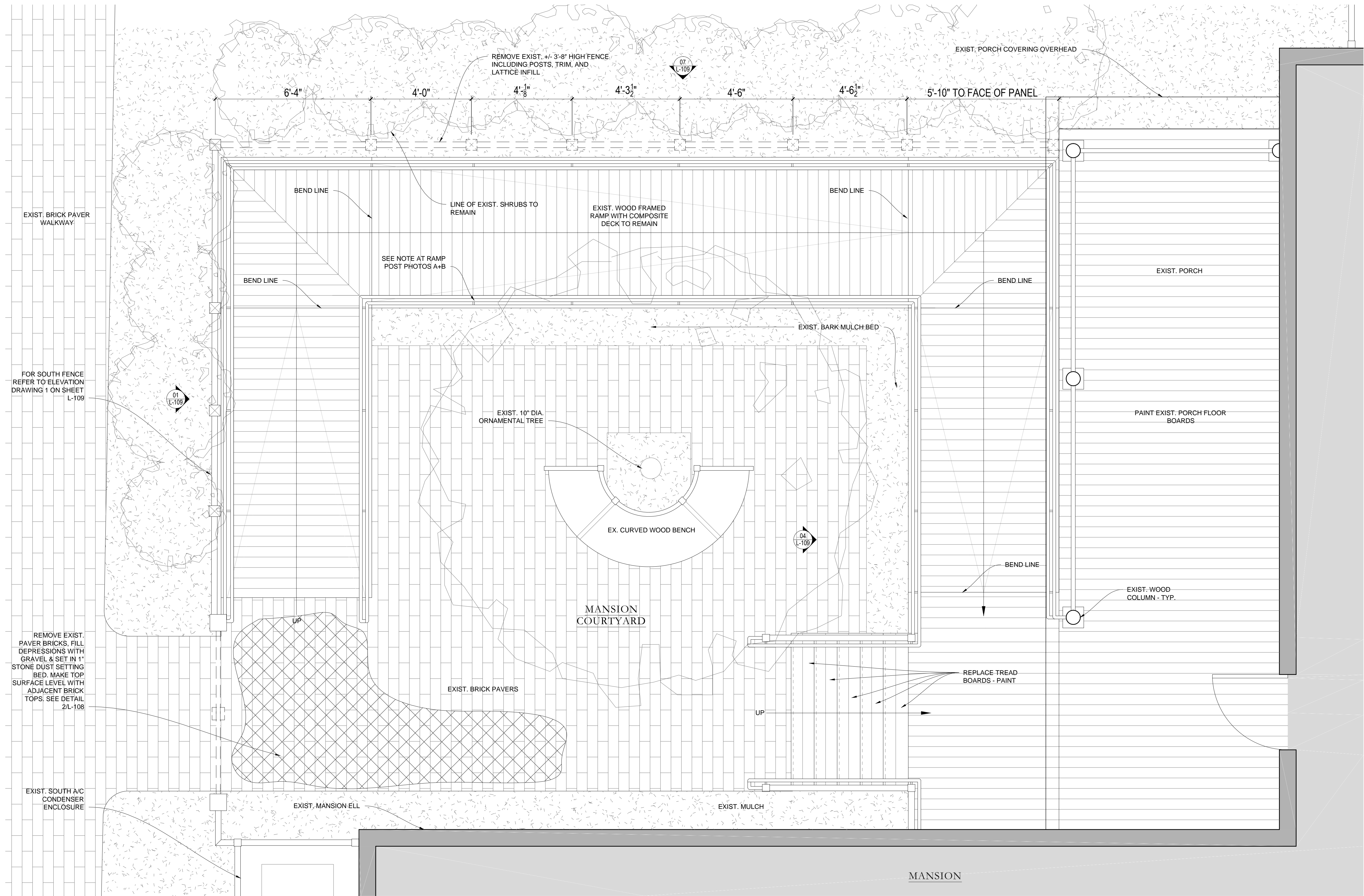
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VARIES 1'-0" VARIES

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#	DATE	DESCRIPTION

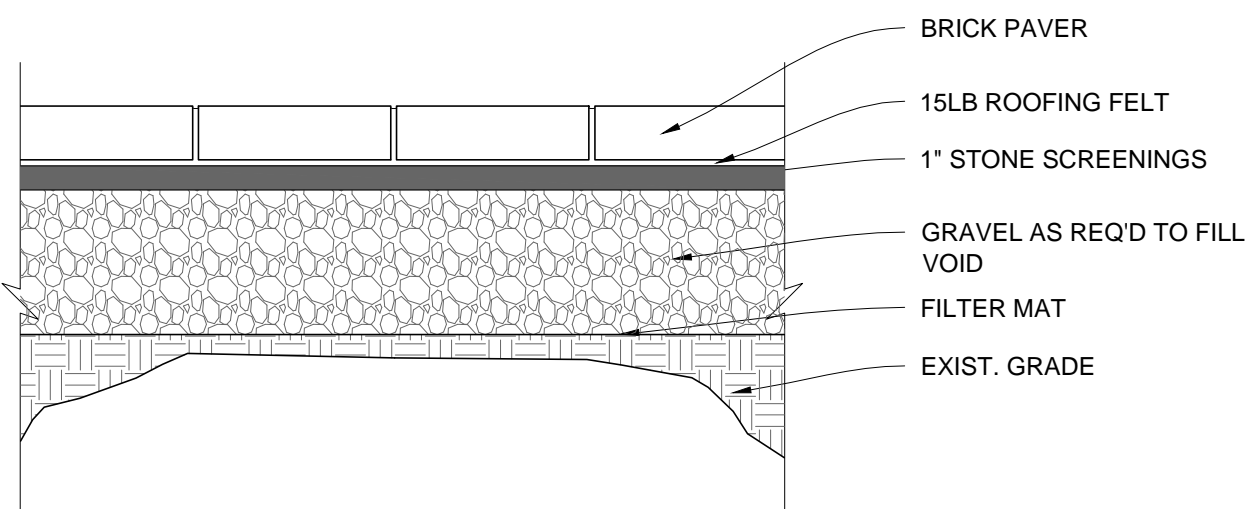
ISSUANCES:
SEAL:

SHEET TITLE:
**CARRIAGE HOUSE AND
COTTAGE BASEMENT
PLANS**

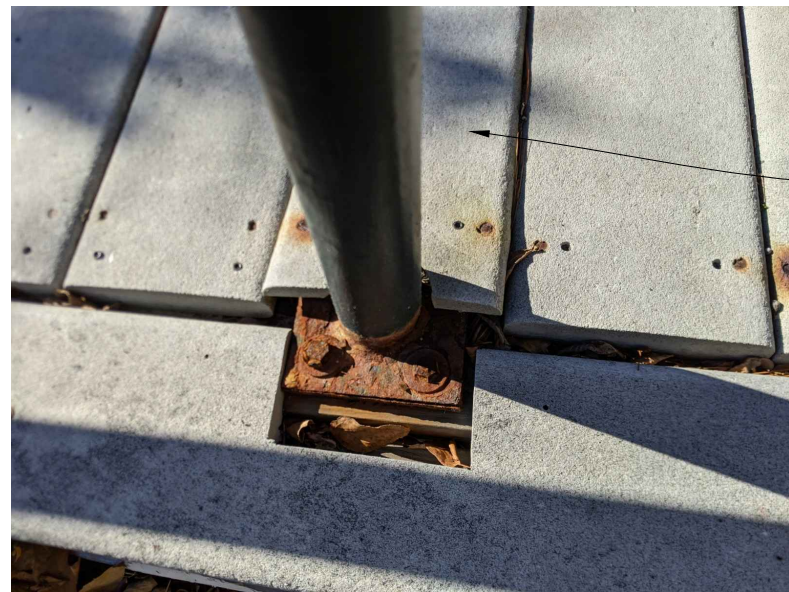
SHEET #:
L-107



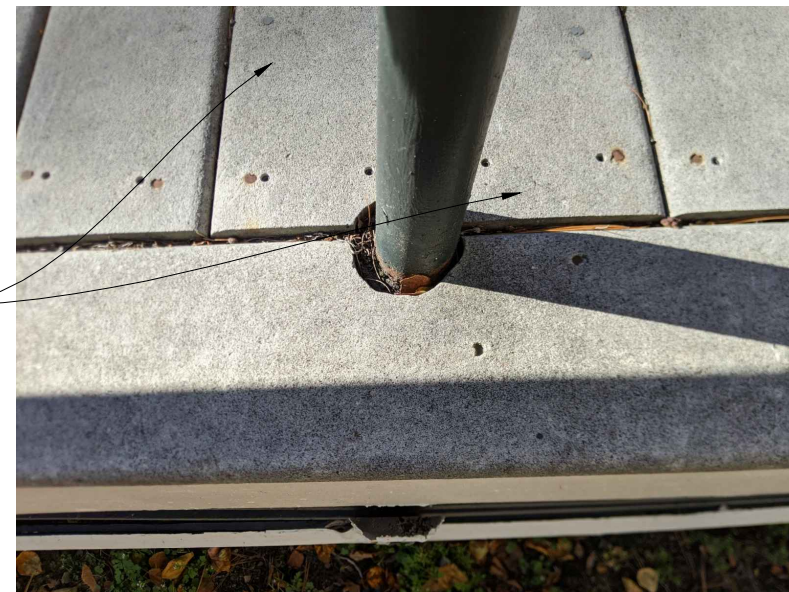
1 MANSION COURTYARD RAMP PLAN
1/2" = 1'-0"



2 DETAIL OF BRICK PAVER @ MANSION COURTYARD
1-1/2" = 1'-0"



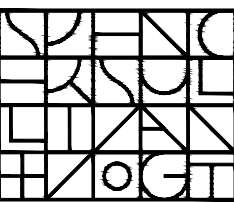
RAMP POST PHOTO "A"



RAMP POST PHOTO "B"

TEMPORARILY REMOVE RAMP DECK
BOARDS AS REQ'D TO FACILITATE
RUST REMOVAL AND PAINTING OF
POST BASE, WHEN DONE
RE-INSTALL DECK BOARDS

ARCHITECT:



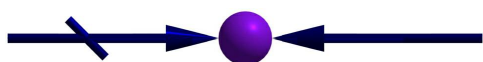
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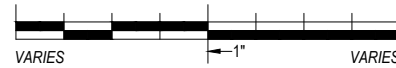
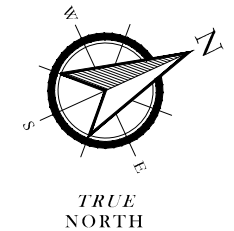
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**WHITEMORE-ROBBINS
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670R Massachusetts Avenue
Arlington, MA 02476

KEY:



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ISSUANCES:

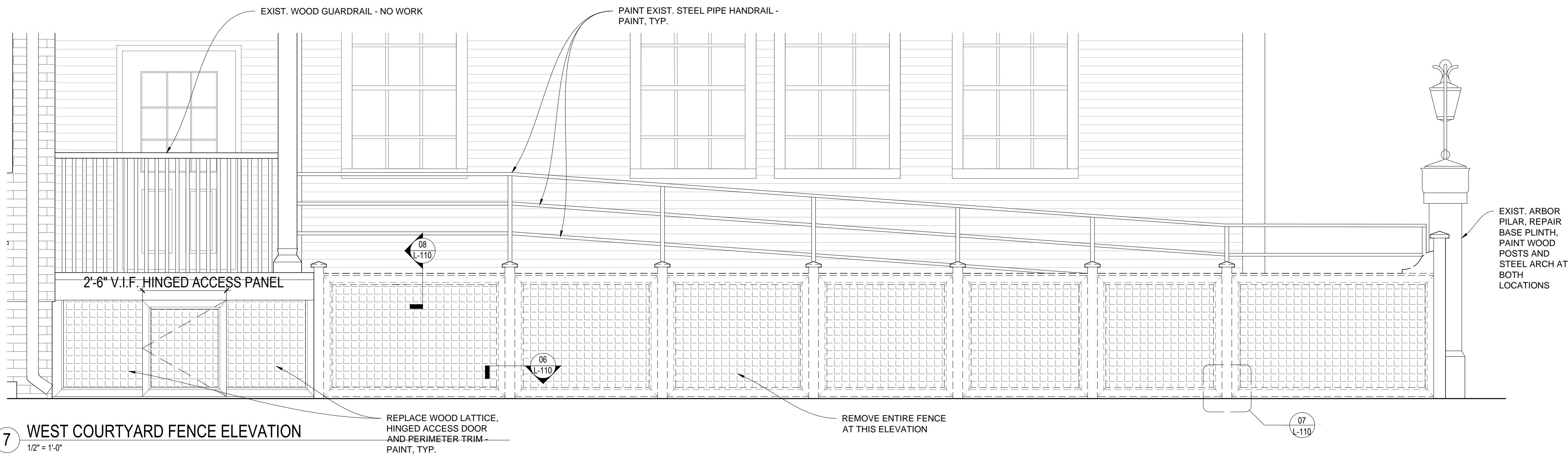
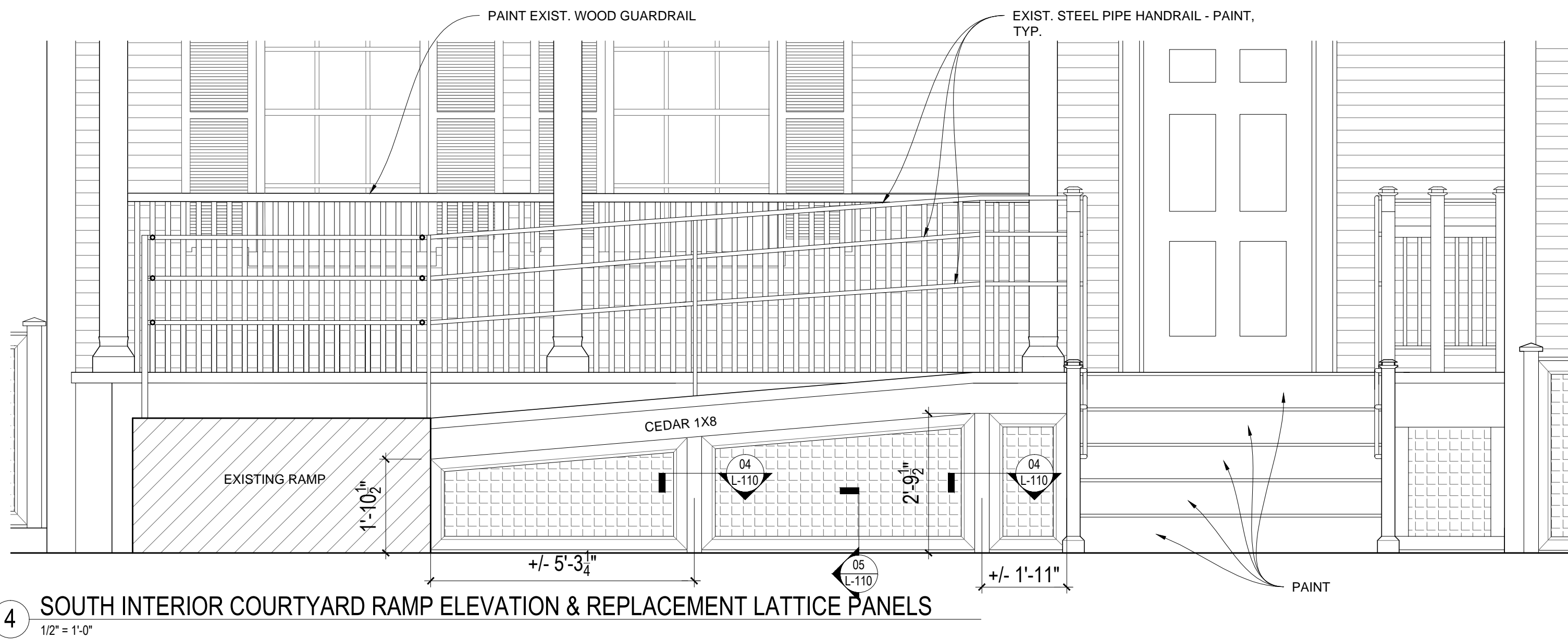
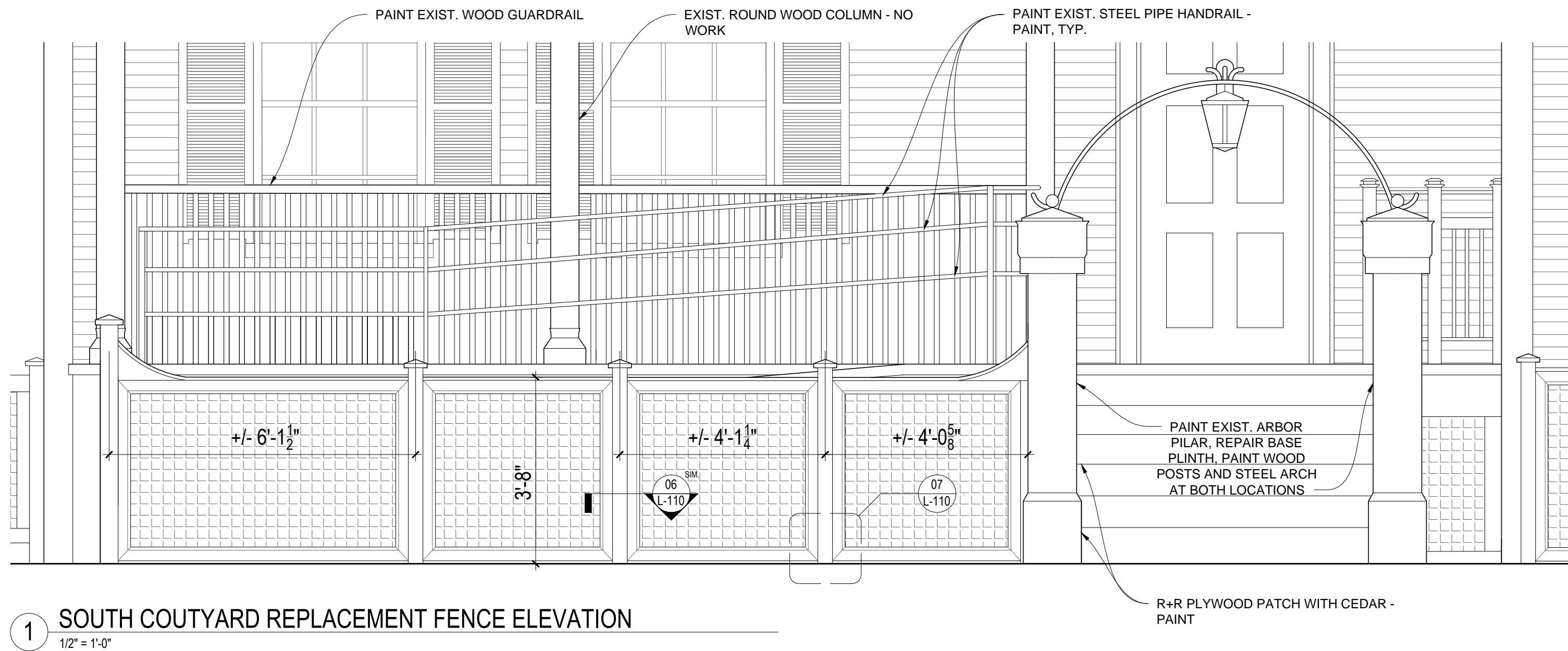
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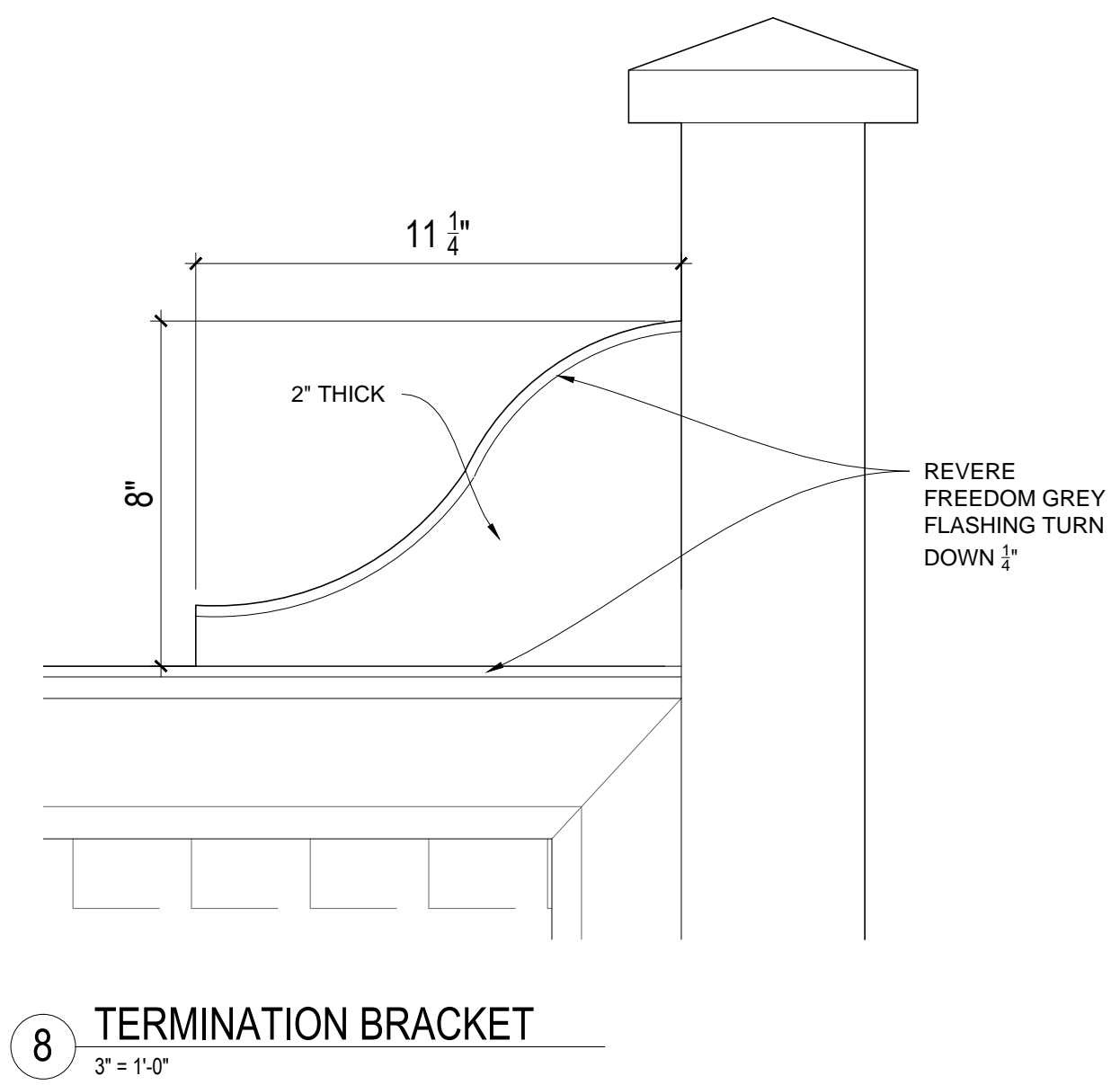
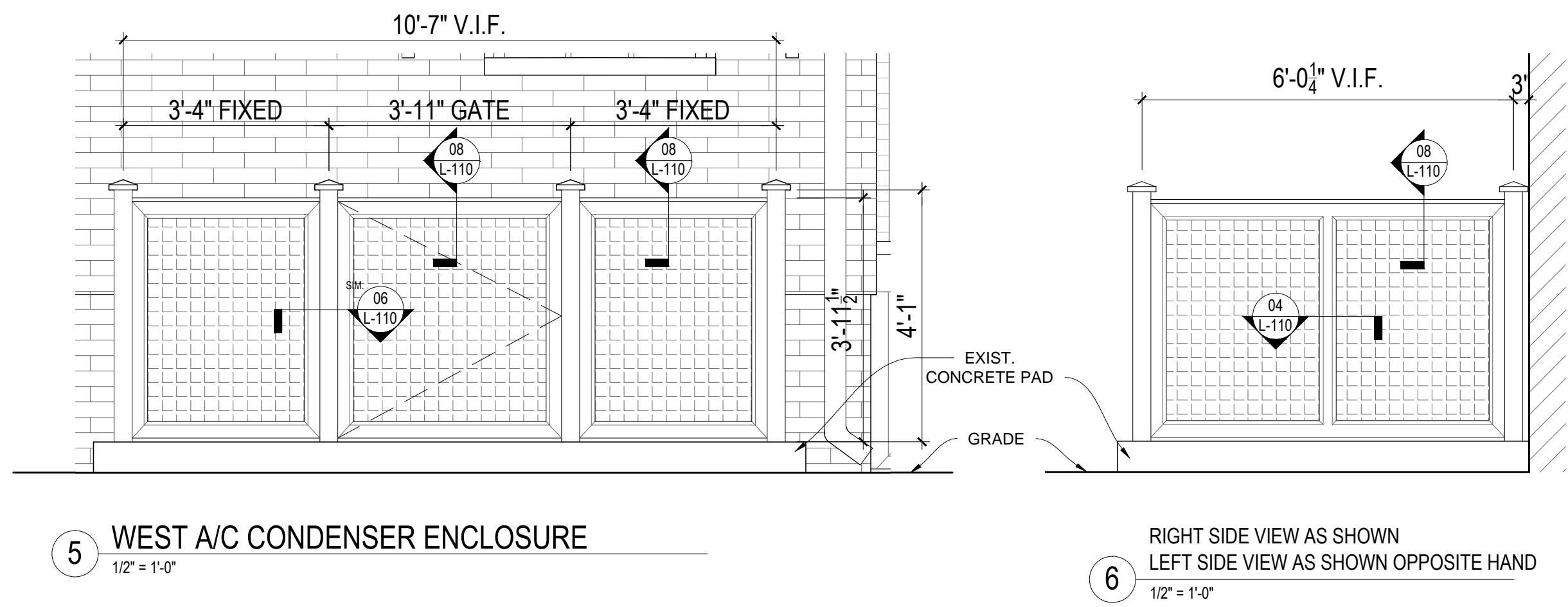
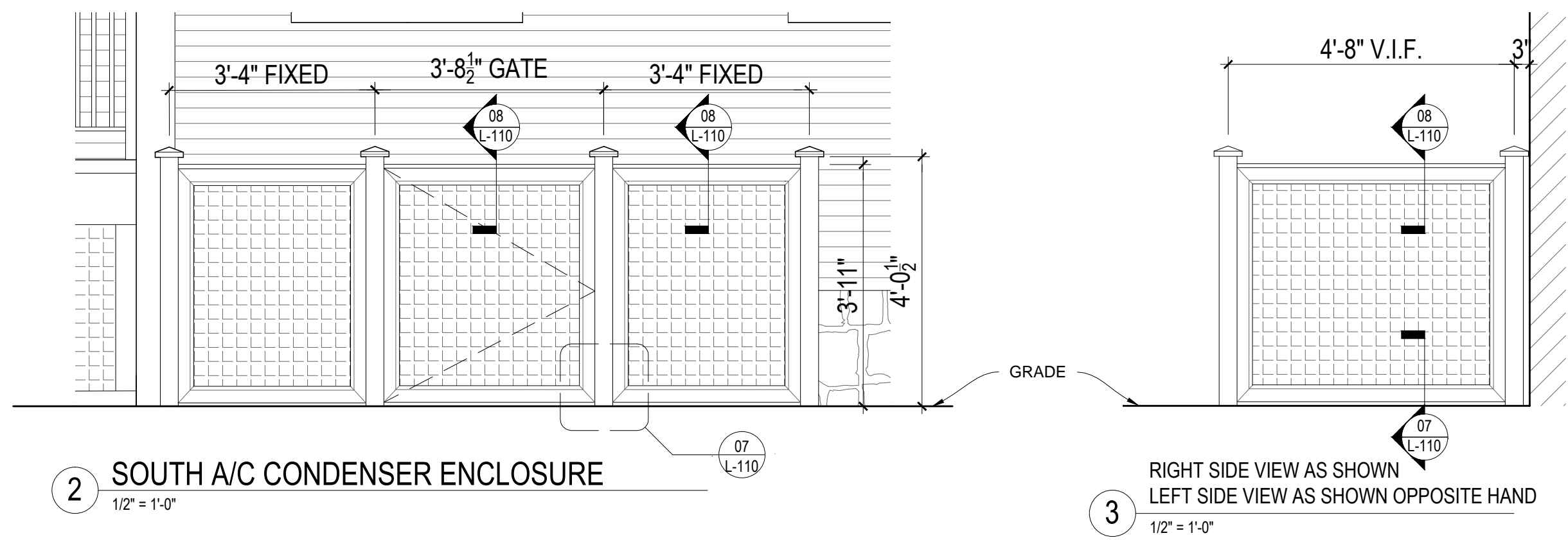
**ACCESSIBILITY RAMP TO
MANSION SHEET 1 OF 2**

SHEET #:

L-108



GERENAL NOTE:
1. PAINT ALL HANDRAILS
2. PAINT WOOD FENCE AND LATTICE PANELS, RAMP AND PORCH




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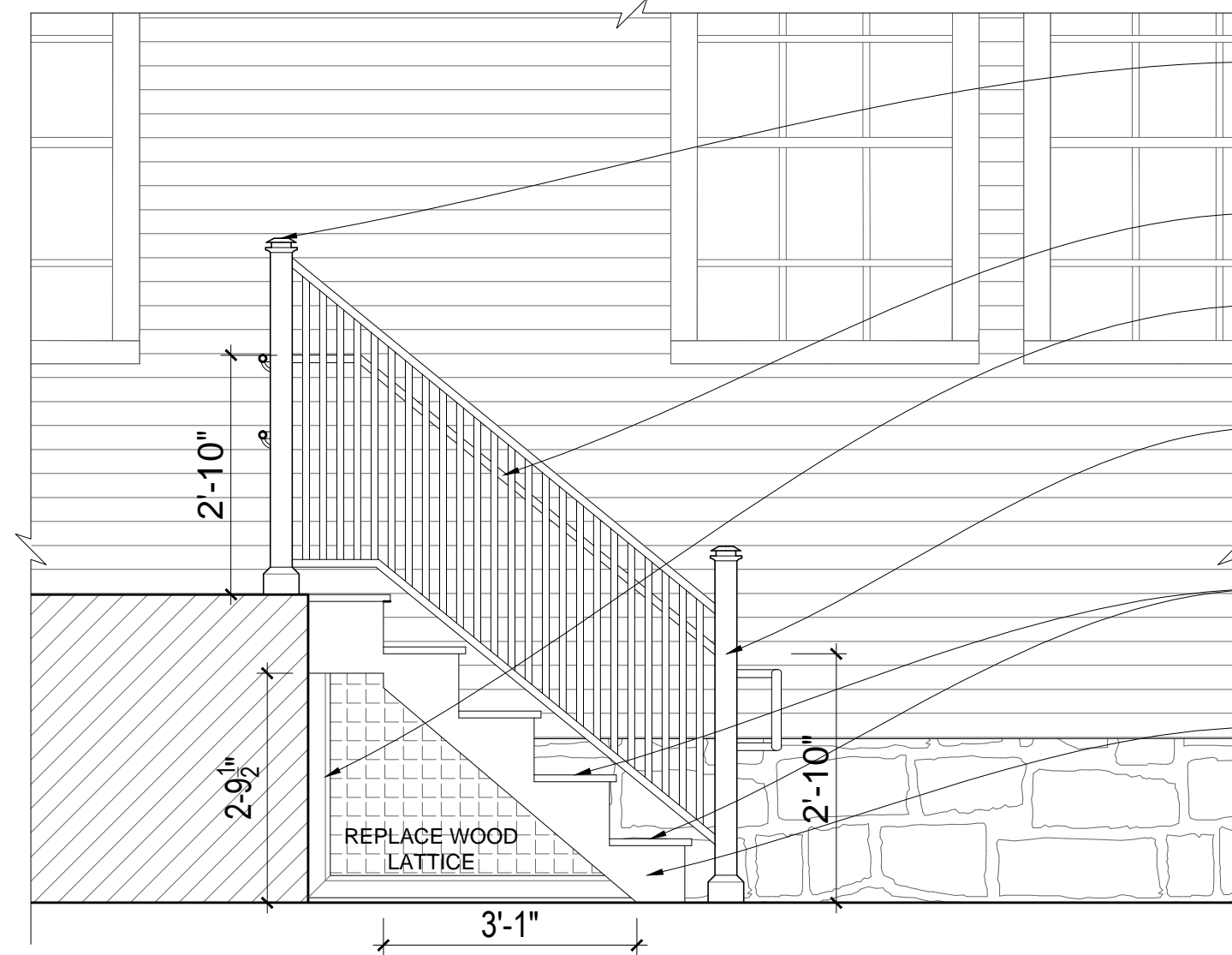
PROJECT: #1928.00
WHITTEMORE-ROBBINS ESTATE
REHABILITATION OF
THREE BUILDINGS
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REHABILITATION
670R Massachusetts Avenue
Arlington, MA 02476

KEY:

VARIES 1'-0" VARIES

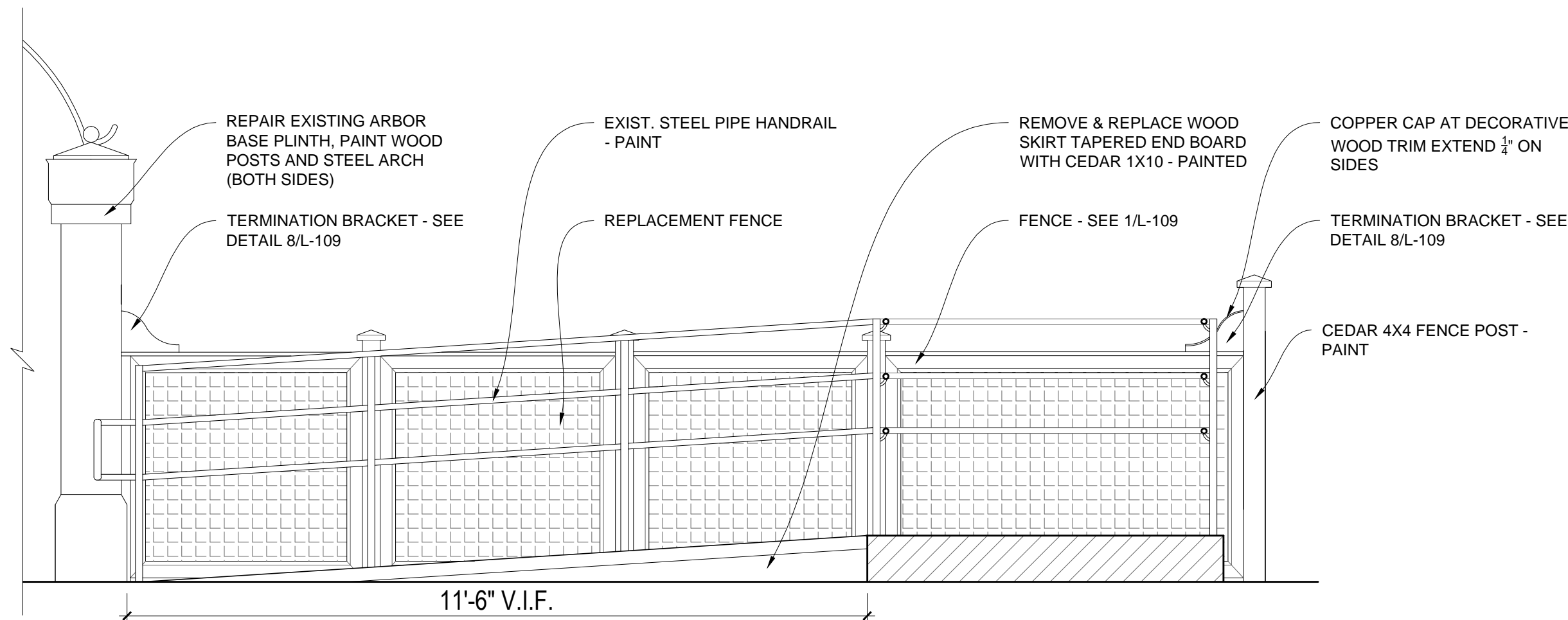
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#	DATE	DESCRIPTION

SHEET TITLE:
ACCESSIBILITY RAMP TO MANSION SHEET 2 OF 2

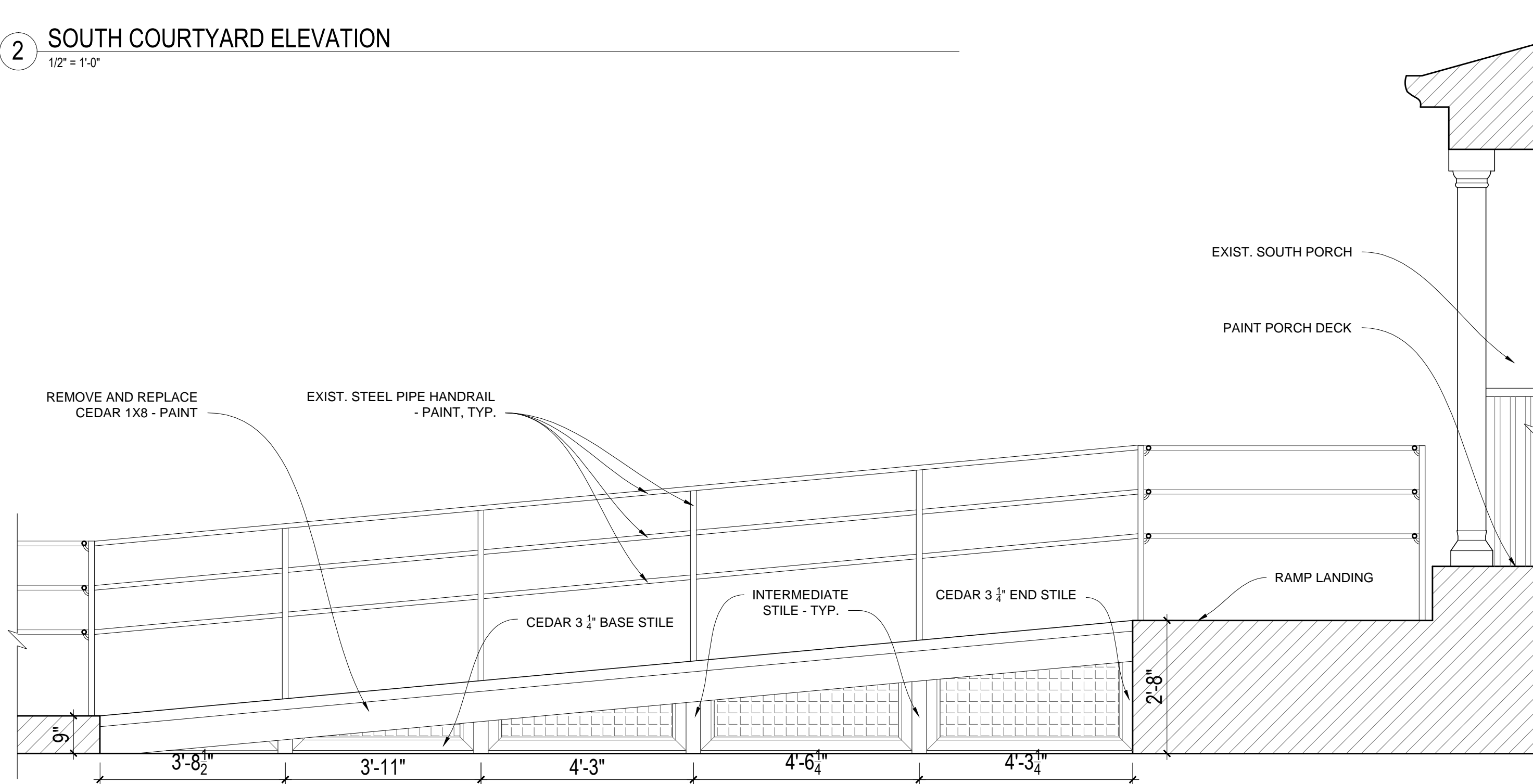
SHEET #:
L-109



1 COURTYARD STAIR
1/2" = 1'-0"

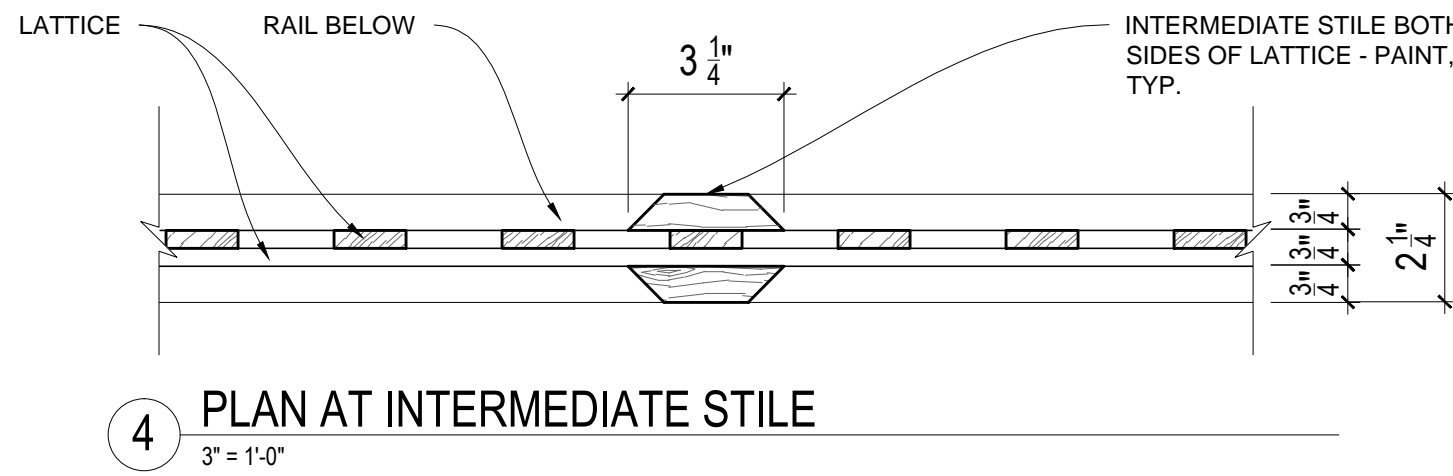


2 SOUTH COURTYARD ELEVATION
1/2" = 1'-0"

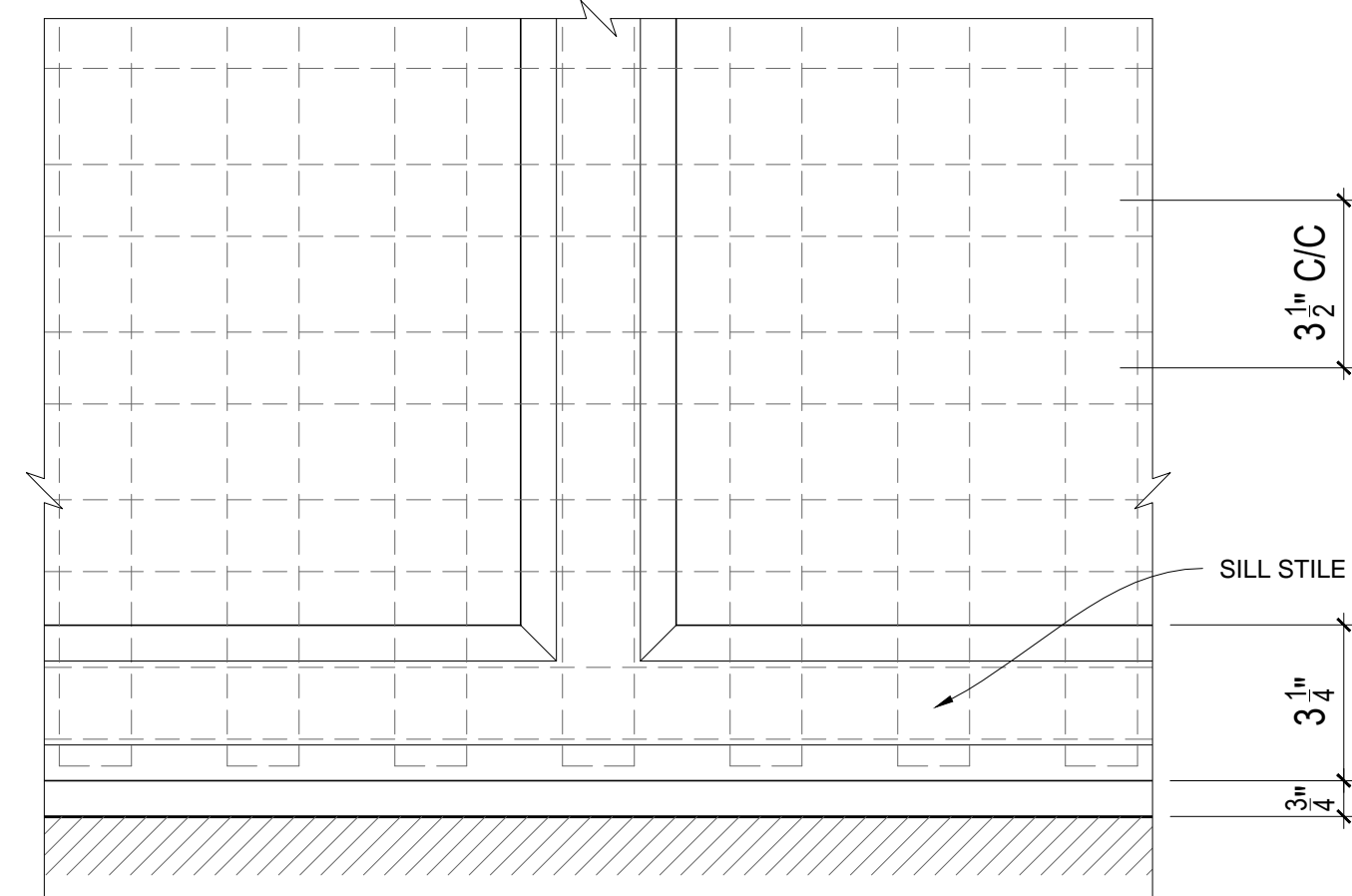


3 WEST COURTYARD RAMP ELEVATION
1/2" = 1'-0"

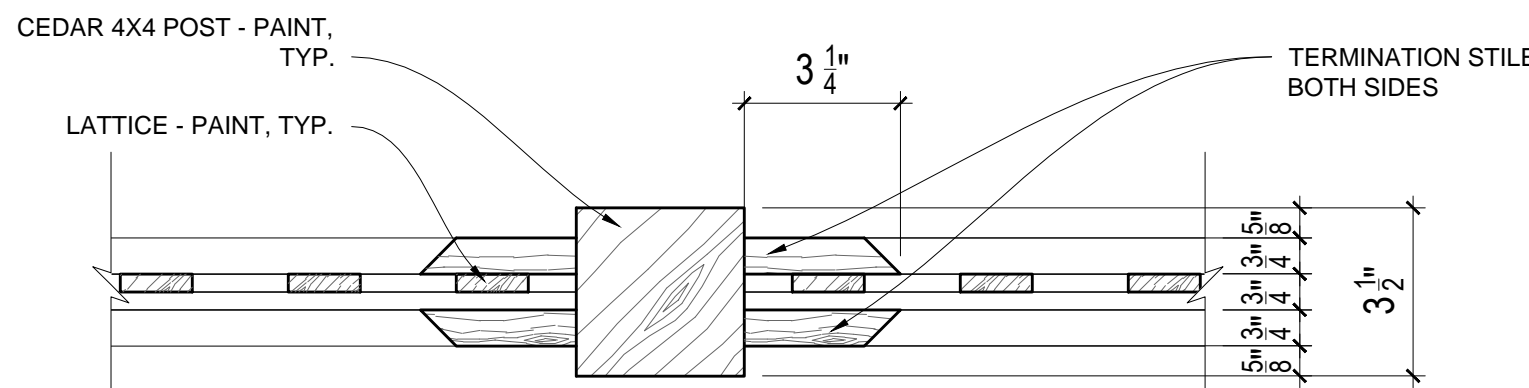
GERENAL NOTE:
1. PAINT ALL HANDRAILS
2. PAINT WOOD FENCE AND LATTICE PANELS, RAMP AND PORCH



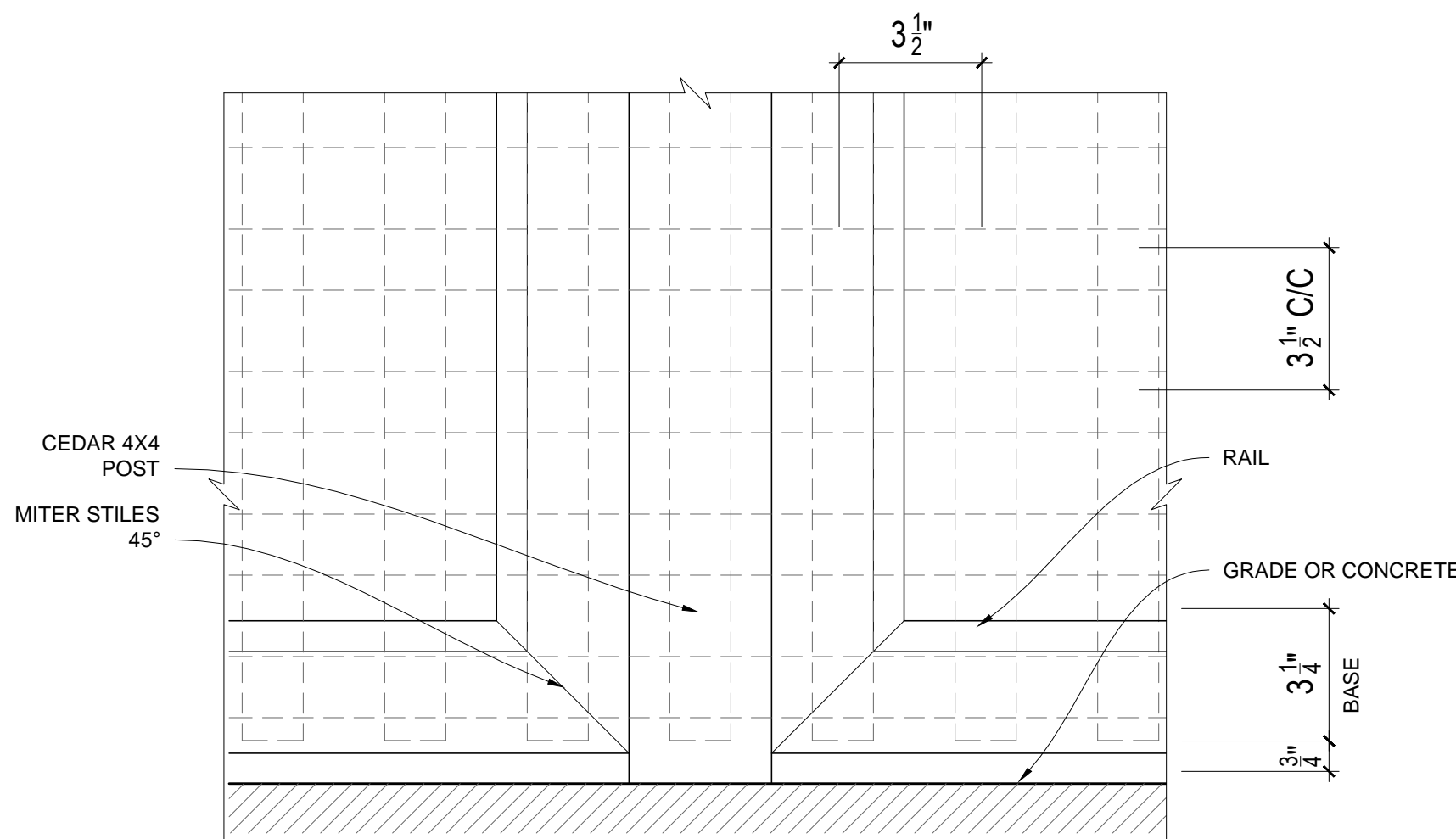
4 PLAN AT INTERMEDIATE STILE
3" = 1'-0"



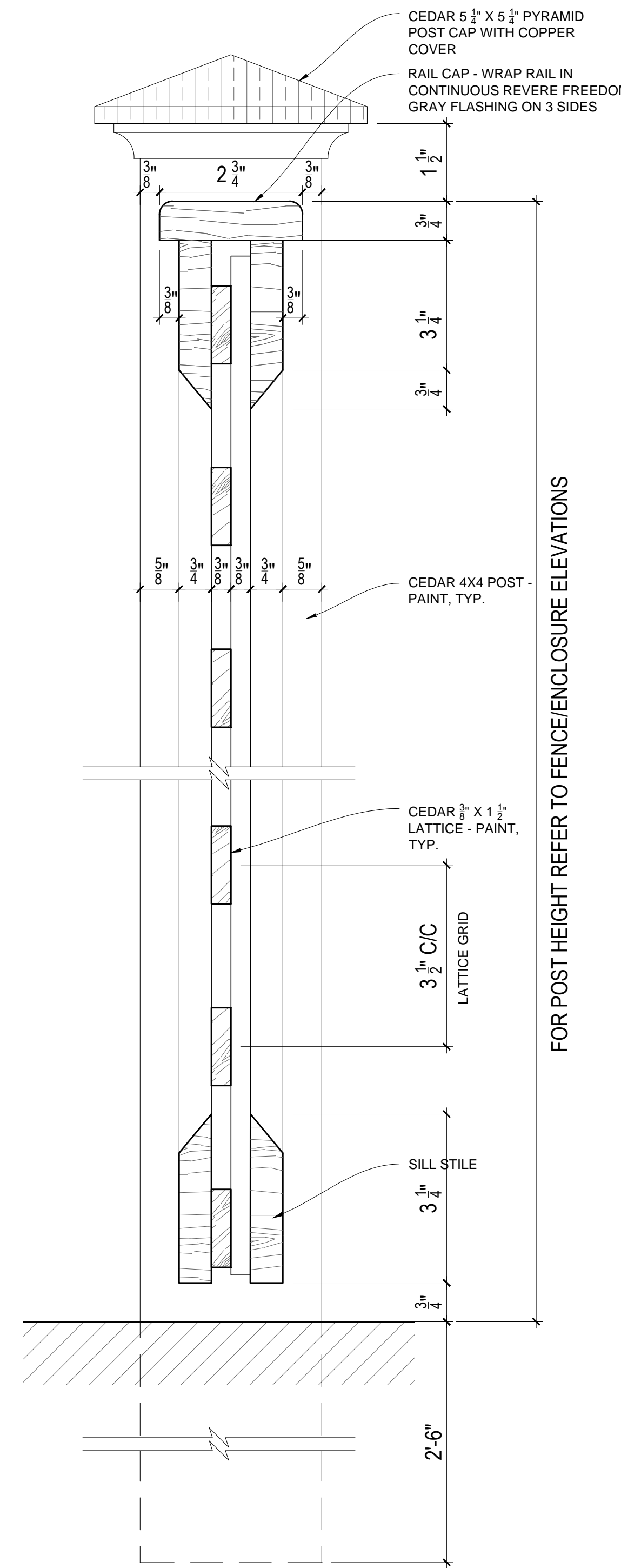
5 SILL ELEVATION AT INTERMEDIATE STILE
3" = 1'-0"



6 PLAN AT INTERMEDIATE POST
3" = 1'-0"



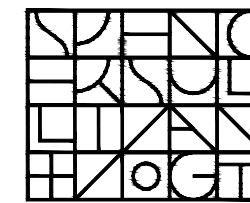
7 SILL ELEVATION AT INTERMEDIATE POST
3" = 1'-0"



8 TYPICAL SECTION AT FENCE
6" = 1'-0"

FOR POST HEIGHT REFER TO FENCE/ENCLOSURE ELEVATIONS

ARCHITECT:



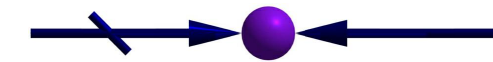
Spencer, Sullivan & Vogt
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OWNER:



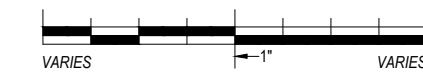
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
SITE IMPROVEMENTS AND
REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00	Xxx. 00, 0000	DESCRIPTION
#	DATE	DESCRIPTION

ISSUANCES:

SEAL:

SHEET TITLE:

**A/C CONDENSER YARDS
& MISC. DETAILS**

SHEET #:

L-110

01100 - GENERAL REQUIREMENTS

- Drawing notes and specifications apply generally to all the work unless more specific information is shown elsewhere on the drawings or written in the specifications. In the event of conflicting instructions, the Architect shall determine what controls.
- Conform to The Massachusetts State Building Code, Ninth Edition and any amendments adopted by the local governing authority.
- Refer to the project manual for general contract requirements and specifications.
- Coordinate work with that shown on the architectural, site, mechanical, electrical, and approved shop drawings.
- Grades and plan dimensions for existing work are approximate and for planning reference only. Contractor shall take field measurements of existing conditions, review discrepancies with the architect, and build to approved work points.
- Take dimensions to centers of columns, beams, piers, and pilasters; faces of walls; and to edges of openings unless shown otherwise.
- Coordinate dimensions shown on the contract drawings with fabrication drawings and field conditions and report any inconsistencies to the Architect before proceeding with work.
- Review, approve, and stamp shop drawing and product literature submittals to the Architect for review and approval.
- The structural design is based on the interaction of all the parts of the completed building. The Contractor shall solely bear the risk for providing adequate stability and safety of the structure during construction.
- Details shown on drawings are to be considered typical for all similar conditions.
- Submit for approval shop drawings, manufacturer's product literature, test reports, and certifications electronically in Adobe Acrobat format with General Contractor's approval stamp.
- Apply no finishes to framing nor install non-structural framing until the new and renovated structural work has been reviewed and accepted by the Architect.

01300 - DESIGN LOADS

- Risk Category (IBC2015-1604.5) II
- In addition to self-weight and fixed service movement, the structure is designed to carry the following.

Floor Live Loads	
Offices	50 psf
Stairs	100 psf
Roof Live Loads	
	100 psf
Snow Loads:	
Ground Snow load (Pg)	40 psf
Flat Roof Snow Load (Pf)	31 psf
Slope snow load (Ps)	19 psf
Importance Factor (Is)	1.0
Includes drifts and surcharges	

Wind Load	
Basic Wind Speed Risk Cat II (Vult)	128 mph
Wind Exposure	B
Method: Part 2 Simplified Directional, Class 1	

Earthquake Data	
Seismic Importance Factor (Ie)	1.00
Spectral Response (Ss)	0.218
Spectral Response (S1)	0.070
Site Class	D
Spectral Response Coef. (Sds)	0.223
Spectral Response Coef. (Sd1)	0.112
Seismic Design Category	B
Seismic Importance Factor (Ie)	1.0
Response Mode Building (R)	2.5
Supports for non structural components. Refer to ASCE 7-10, Section 13.3	
Fp ≤ 1.6 Sds Ie Wp	
Fp = 0.4 ap Sds Wp (1+2 z/h)	
(Rp/Ie)	
Fp ≥ 0.3 Sds Ie Wp	

Analysis Procedure:
Equivalent Lateral Force Method

Existing.
No significant change in mass or lateral bracing.

- Chapter 34, IBCB 2015 Requirements**
- Meets Alteration Level 3 Work
 - MA Amend. Reduced Lateral Load 50%
 - Less than Substantial Structural Alteration

01450 - STRUCTURAL TESTS AND SPECIAL INSPECTIONS

- Structural work is subject to the testing and inspection provisions of Chapter 17 of the Code. The program of testing and inspection shall be prepared by the Structural Engineer of Record (SER) when documents are submitted for permit. The program of testing and inspections shall be carried out by an Independent Testing Agency (ITA) approved by the SER. The cost of the independent testing agency is borne by the Owner. The SER may choose to perform some inspections. The inspections and testing shall meet the standards referenced in the Code and comply with the contract documents and approved submittals.
- The testing and inspections shall include but is not limited to the following:
 - Soils.
 - Visually inspect soils under footings meets soil requirements in contract documents.
 - Concrete.
 - Inspect reinforcing placement.
 - Inspect concrete placement, slump, segregation, and consolidation.
 - Prepare test cylinders and test compressive strength.
 - Structural Steel.
 - Visually inspect bolted joints.

02250 - DEMOLITION, SHORING AND UNDERPINNING WORK

- Before proceeding with demolition, survey and evaluate the area to ensure that the structure is not damaged beyond the demolition work. Remove demolition debris promptly from the building. Provide a plan of action to the Architect for approval broken into work areas and sequence.
- At the time of drawing preparation, most of the structure was concealed behind finishes leading to assumptions of the location and size of structural components and connections. Remove finishes before removing existing framing to verify existing conditions. Notify the Architect of any inconsistencies between drawings and actual conditions for review and resolution.
- The contractor shall remove scheduled demolition finishes prior to starting framing alterations and repairs. The contractor shall reveal framing from the highest level to the lowest to enable viewing of the complete load path before starting structural work.
- Remove debris from present and previous constructions to enable free viewing of existing framing.
- Shore and brace floors, roofs, piers, and walls during demolition and maintain until the new structural work is completed and tied to the existing building. Do not overload existing floors with construction debris. The Contractor is responsible for the design of shoring and bracing.
- Remove and relocate utilities crossing excavations and new foundations. Adequately support utility lines adjacent to new foundations.
- Protect streets, sidewalks, and adjacent building foundations during excavation by sheet piling, bracing, and shoring as required by field conditions.
- For complex shoring and bracing as deemed by contractor or architect, employ a licensed professional engineer to prepare procedures and inspect shoring and bracing for protection against slides, cave-ins, and collapse.
- Remove existing foundations that interfere with new work. Immediately inform the Architect of hidden foundations uncovered during excavation; do not remove them unless approved by the Architect.

02300 - CONSTRUCTION SAFEGUARDS

- Provide a plan of action for the safe operations of the construction site. Include the storage of materials, construction egress, fire safety, public walkways, barricades, railings, barriers, and protections of the building and abutting property.
- Refer to Chapter 15 of the International Existing Building Code for more requirements.

02421 - CUTTING AND PATCHING FINISHES

- Where access through finishes to access structural work, neatly remove existing finishes to the extent necessary to access the work shown.
- Upon acceptance of structural work, neatly patch finishes. Refer to architectural drawings and specifications for finish requirements.

02450 - EXCAVATION

- Remove soft or organic materials under and adjacent to footings and slabs-on-grade.
- Slope sides or sheet, shore, or brace excavations to ensure stability.
- Drain excavations to remove water and place concrete in the dry.
- Elevations shown on the drawings are minimum required depths. Excavate deeper if needed to reach soil with specified bearing strength or increase footing size at the direction of the Architect/Engineer.

02482 - FOUNDATIONS AND RETAINING WALLS

- The Architect assumes no responsibility on the correctness of the subsurface conditions presented on the drawings and in boring or test pit reports. The data are intended for the preparation of bids and subsequent construction. They represent conditions only at those specific locations at the time they were made.
- The design assumes the following presumptive soil lateral pressures and bearing capacities (Tables IBC, 1610.1 and IBC, 1806.1):
 - Active Pressure: 30 psf
 - At-Rest Pressure: 60 psf
 - Vertical Foundation Pressure: 3,000 psf
 - Lateral Bearing Pressure: 200 psf
 - Lateral Sliding Resistance coeff: 0.35
- Carry footings down 4 inches into undisturbed soil meeting Vertical Foundation Pressure capacity.
- Do not excavate for footings below a line inclined down 30 degrees from nearby footings unless the excavation is adequately braced or approved by the Architect.
- Inform the Architect to inspect the completed excavations for acceptability of the soil before constructing concrete forms.
- Carry exterior foundations down at least 4 feet below exterior grade.
- Finish footing excavations with hand tools.
- Prevent soils supporting foundations from freezing. Remove any frozen soil and replace with concrete if under footings or with compacted granular fill if under slabs-on-grade.
- Prepare subgrade with mechanical compactors. Choke line sand on site with 12 inches of crushed stone.
- Final backfill under slabs-on-grade with an approved granular fill of Base Course fill in a 12-inch layer.
- Provide a minimum of a four-inch layer of compacted granular fill under slabs on grade.
- Backfill under footings and under Base Course Fill with an approved Select Granular fill placed in 12-inch layers.
- Backfill beside foundation walls with an approved Clean Granular Fill placed in 12-inch layers.
- Compact each layer to 95% maximum density at optimum water content with at least four (4) passes of a vibratory roller, multiple-wheel pneumatic-tired roller or other approved compaction equipment. Inform the Architect before starting for inspection of backfill operations. Approved clean excavated materials meeting the specifications may be used for backfill.

Gravel Fill Gradation Specifications	
MHD M1.03.0 Type B	
Percent Passing by Weight	Sieve Size
	Gravel
	Fill
	3" 100
	1/2" 50-85
	No. 4 40-75
	No. 50 8-28
	No. 100 0-8

Crushed Stone Gradation Specifications	
MHD M2.01.4	
Percent Passing by Weight	Sieve Size
	Gravel
	Granular
	Fill
	1" 100
	3/4" 90-100
	1/2" 10-50
	3/8" 0-20
	No. 4 0-5

- Below ground water level, provide (1) 12-inches of crushed stone base under basement slabs-on-grade and footings and (2) a perimeter perforated drain pipe in a bed of crushed stone covered with a filter fabric.

03200 - REINFORCING STEEL

- Conform to the Manual of Standard Practice for Detailing Reinforced Concrete Structures, ACI 315; the Standard Specification for Structural Concrete in Buildings, ACI 301; and the Building Code Requirements for Reinforced Concrete, ACI 318.
- Submit shop drawings for concrete and masonry work to the Architect for approval prior to fabrication.
- Provide reinforcing steel meeting the standards of ASTM A615 Grade 60.
- Provide welded wire fabric in flat sheets meeting the standards of ASTM A185.
- Clearance of main reinforcing bars from adjacent concrete surfaces shall be:

Structural Element and Condition	
Cover	
Concrete cast against and permanently exposed to earth	3"
Concrete exposed to earth or weather	
#6 through #18 bars	2"
#5 bar, W31 or D31 wire or smaller	1 1/2"

- Do not cut or displace reinforcing steel to accommodate the installation of embedded items without the approval of the Architect.

03300 - CONCRETE

- Comply with the latest edition of the Standard Specification for Structural Concrete in Buildings, ACI 301, and the Building Code Requirements for Reinforced Concrete, ACI 318.
- Submit product literature on concrete materials, design mixes, embedments, grout, fasteners, chemical treatments, and additives.
- Center footings, piles, caissons, and piers under supported members unless shown otherwise.
- Install only steel, cast iron pipe, or PVC pipe sleeves in concrete slabs, beams, and walls.
- Proportioned, mix and place concrete under the supervision of an approved concrete control engineer.
- Provide concrete with 28 day compressive strengths for the following uses:

Use	psi
(Exposure classes and categories)	
Footings and interior slabs on grade (F0, W1, & C1)	4000

- Concrete freezing while moist 4500
- Center footings, piles, caissons, and piers under supported members unless shown otherwise.
- Deicing salts on exterior concrete 5000 slabs. (F3, W1, & C2)
- Refer to Table 19.3.1.1 for exposure classes and categories.
- Meet Table 19.3.2.1 - Requirements for concrete by exposure class to proportion water cement ratios, minimum 28 day strength, air content, cementitious materials, and chloride content.
- Provide 6% air entrained concrete exposed to earth or weather.
- Reinforce slabs placed on ground with a minimum of 6"x6"- W2.9 x W2.9 welded wire fabric, lapped 12" on sides and ends.
- Place concrete slabs-on-grade over a 6-inch layer of 95% compacted gravel with a grid of contraction joints not exceeding 15 feet apart in both directions.
- Notify the Architect at least 24 hours in advance of pouring concrete for inspection of reinforcing steel placement. Cast no concrete until the inspection has been made or waived by the Architect.

04215 - MASONRY AND CONCRETE ANCHORS

- New anchors in concrete/masonry shall be subjected to periodic inspection or Special Inspection.
- Submit for approval anchors information that confirms the intended promoted purpose is correctly applied for the project.
- For anchors in brick or CMU, provide Hilti HIT-HY 270 or approved equal.
- For anchors in concrete, provide Hilti HIT-HY 100 or approved equal.
- Use 3/4"Ø Type 304 or 316 stainless steel threaded rod embedded a minimum of 8" into anchoring wall unless shown otherwise.
- Five percent of the bolts that do not extend through the wall shall be subjected to a direct tension test, and an additional 20 percent shall be tested using a calibrated torque wrench. Perform testing in accordance with Section A107.5 of the International Existing Building Code (IEBC) 2015.
- Where anchoring tops of existing masonry, set anchors in Portland cement grout in holes with a diameter of 2 1/2". Dry drill these holes using non percussion drills.

05100 - STRUCTURAL STEEL

- Conform to the requirements of AISC Manual of Steel Construction Allowable Stress Design, Thirteenth Edition.
- Provide plates that meet 36 ksi, A36 requirements. Pipe to meet ASTM A53 Grade B (35 ksi).
- Submit shop drawings to the Architect showing erection plans, fabricated assemblies, and accessories. Show member designations, sizes, and connections.
- Shop weld and field bolt connections to the greatest extent possible.
- Provide anchor bolts meeting ASTM F1554, Grade 36 steel.
- Provide grout under column bases. Anchor columns to piers, walls, and footings with two 3/4" diameter x 1' x 0" long headed bolts.
- Do not paint steel that is to be encased in concrete; wrap cast members a 4 x 4 #12 gauge wire mesh.
- Provide one shop coat of paint equal to 10-99 Tnemec Primer for steel not concealed by interior finishes, not protected from the elements by galvanizing, or inaccessible after shop assembly.

06100 - ROUGH CARPENTRY

- Comply with the latest edition of the AFPA *National Design Specification for Wood Construction*, 1999 and the American Institute of Timber Construction *Timber Construction Manual*, fourth edition.
- Submit product literature on framing materials, fasteners, manufactured connections, chemical treatments, and shop drawings of custom connections and engineered wood systems. Engineered wood systems would include prefabricated trusses, proprietary engineered wood floors, walls, columns, beams, and diaphragms.
- Sound lumber removed in the demolition from other parts of the building may be reused providing surface defects, holes or notches do not affect its strength or serviceability.
- Provide new lumber and plywood with grade when indicates species, mill number, moisture content when surfaced, and grade or stress rating stamps from the associations having jurisdiction.
- Provide preservative treated wood where in contact with masonry or concrete or within eight inches of ground meeting use standards as listed in AWPA U1 and M4.
- For patch work, provide APA Structural I rated sheathing matching thickness of existing board sheathing span rating 32/16 Group 1 species, Exposure 1 glue on inner plies, C-D Grade.
- For new work, provide APA rated sheathing where shown on drawings as follows:
 - Walls: Provide APA Structural I rated sheathing, 15/32" thick span rating 32/16 Group 1 species, Exposure 1 glue on inner plies, C-D Grade.
 - Roofs: Provide APA Structural I rated sheathing, 19/32" thick span rating 32/16 Group 1 species, Exposure 1 glue on inner plies, C-D Grade.
- Refer to the IBC Table 2304.9.1 Fastening Schedule for nailing not shown on the drawings.
- Where indicated, provide manufactured steel connectors such as those made by Simpson Strong-Tie (SST). Refer to manufacturer's published literature for recommended fasteners. Provide all fasteners to achieve maximum rated loadings. All connectors shall be either galvanized finish (G30 standard) or stainless steel (Types 304 and 316) unless noted otherwise. Fasteners shall be sized and rated for the material in which they are used. Verify conditions will permit connectors shown on drawings to fit before ordering.
- Fasten studs and rafters with wind ties/clips and joists and rafters to sides of beams with hangers. Include cost of 20 manufactured connectors and labor not shown on drawings to be used where directed by the Engineer.
- At porch, provide pressure treated Southern Pine, select structural grade. Fasteners shall be stainless steel.
- Wall construction:
 - Grade: Provide Spruce-Pine-Fir (South) No. 1 grade kiln-dried studs with maximum moisture content of 19% at time of dressing.
 - Provide double studs and an additional jack stud to support lintels on each side of openings between 16" to 48" wide. Provide 3" - 2" x 8" headers for spans up to 4'-0" and 3-2"x10" up to 6'-0".
 - Form corners with a minimum of three studs spiked together.
 - Fabricate built-up posts as follows: 2-2x4's fastened with one row of staggered 10d nails @ 6"; 3-2x4 fastened with one row of staggered 30d nails @ 8"; and 3-2x6 fastened with two rows of 30d nails.
- Floor and roof construction:
 - Grade: Provide Spruce-Pine-fir (South) No. 1 or better lumber for joists and rafters surfaced dry with maximum moisture content of 19% at time of dressing.
 - Locate joists and rafters directly over wall studs.
 - Provide double joists under walls parallel to joists.
 - Where floors are supported on concrete or masonry wall faces, provide pressure treated wood ledger fastened with two rows of epoxy set anchors spaced at 16" unless shown otherwise. Embed anchors 8" into supporting wall. Where wall face is irregular, grind flat to snug ledger.
 - Comply with IBC Figure 2308.8.2 for notching and holes in dimensioned lumber floor framing. Notches in joists shall not exceed 1/6 the joist depth and shall not in the middle third of the span. Bored holes shall not be within 2" of joist edges and not exceed 1/3 the depth of the joist.
 - Joists shall be braced at each supported end by blocking, rim joists, header, or adjoining stud, IBC 2308.8.2.
 - In areas to receive ceiling, strap the underside of joists with 1" x 3" merchantable spruce. Shim strapping to produce a level ceiling.
- Reframing:
 - Report any rotted, notched, split, or otherwise defective timber framing or decking to the Engineer, who may then require them to be repaired, replaced, or reinforced.

06100 - DRYWOOD TERMITE CONTROL

- Field apply Bora-care, a patented liquid formulation to protect structural wood from attacking wood destroying organisms, to the underside of all first floor framing, all areas within three feet of replaced rotted wood framing, and all wood in contact with masonry.
- Basements and crawl spaces may be treated by applying one (1) coat of diluted BORA-CARE® solution to the point of wetness to all infested and susceptible wood surfaces including sill plates, piers, girders, subfloors, floor joists and any wood exposed to vertical access from the soil. On wood where access is limited to one (1) or two (2) sides of wood members such as sills and plates on foundation walls, apply two (2) coats of diluted BORA-CARE. Wait at least 20 minutes between applications. Apply at a rate of approximately one (1) gallon of diluted BORA-CARE per 200 square feet of floor area (400 square feet of wood surface area).
- The underside of wood flooring can be treated by spray, brush, or roller application. It will be necessary to remove any existing finish prior to application. Apply a two (2) parts water to one (1) part BORA-CARE (2:1) solution at a rate of approximately one (1) gallon of diluted solution per 500 square feet of floor surface. For treating infestations of subterranean or Formosan termites, two (2) coats may be required, waiting at least one (1) hour between applications. Allow floor to completely dry (typically 48 to 72 hours).
- For treating voids, wall studs and wood members not accessible by conventional application methods, spray or mist solution into voids and channels in damaged and suspected infested wood and/or through small holes drilled into walls and baseboard areas. Holes should be spaced no more than 24" apart along each member to be treated and at least one (1) hole must be drilled between each wall stud when treating base plates. Use sufficient amount of material to cover all areas to the point of wetness.

06170 - ENGINEERED STRUCTURAL WOOD

- Provide Laminated Veneer Lumber (LVL) and Parallel Strand Lumber (PSL) made under processes approved by the National Research Board. Comply with the American Institute of Timber Construction *Timber Construction Manual*, fourth edition, for the design, fabrication, and construction of engineered structural wood.
- Provide LVL lumber having the following grade and design values: Grade = 1.9E; Flexural stress (Fb) =2,600 psi; Modulus of Elasticity (E) = 1,900,000 psi; Shear Modulus of Elasticity (G) = 118,750 psi; and Horizontal shear stress (Fv) = 285 psi.
- Provide PSL timber beams having the following grade and design values: Grade = 2.0E; Flexural stress (Fb) =2,900 psi; Modulus of Elasticity (E) = 2,000,000 psi; Shear Modulus of Elasticity (G) = 125,000 psi; and Horizontal shear stress (Fv) = 280 psi.
- Provide PSL timber columns having the following grade and design values: Grade = 1.8E; Flexural stress (Fb) =2,400 psi; Modulus of Elasticity (E) = 1,800,000 psi.
- Nail each layer of multiple LVL members together with 3-16d nails per foot.
- Provide joist hangers and connections for all members designed for engineered wood sizes.

SCOPE OF WORK

The Whittemore-Robbins Cottage is an existing former residential building being rehabilitated for office use. Refer to the Architectural plan for the extent of removal of finishes and other items for demolition. The structural work associated with this project in general but not limited to is as follows:

- Remove all scheduled finishes and debris to allow for complete inspection of existing framing.
- Removal of rotted and defective (including shored) framing
- Remove basement pipe columns.
- Add basement pipe columns.
- Remove scheduled stair demolition framing.
- Remove anonymous joist framing at first floor.
- Replace removed members.
- Grout chimney with concrete from basement to first floor.
- Infill first floor stair opening.
- Replace interior post in first floor wall in front rooms.
- Replace second floor beam over kitchen along with supporting posts.
- Reframe second floor stair opening.
- Add hangers to all joists at first floor.
- Add ridge LVL beam and post supports to rear eill roof.
- Tie main roof rafter eaves with plywood gussets to attic floor.
- Cut in and block first floor register openings.
- Add porch framing on east side.
- Apply bora-care preservative to first floor framing.

SHEET LIST	
No.	SHEET NAME
S0.1	COTTAGE - GENERAL NOTES
S1.1	COTTAGE - FOUNDATION & FIRST FLOOR FRAMING PLANS
S1.2	COTTAGE - SECOND FLOOR AND ATTIC FRAMING PLANS
S1.3	COTTAGE - ROOF FRAMING PLAN
S3.1	COTTAGE - SECTIONS AND DETAILS
SD1.1	COTTAGE - STRUCTURAL DEMOLITION PLAN

GRAPHICS LEGEND

EXISTING OBJECTS ARE SHOWN WITH HALFTONE GRAY LINES AND FILL PATTERNS. NEW WORK IS SHOWN WITH BLACK LINES AND FILLS.

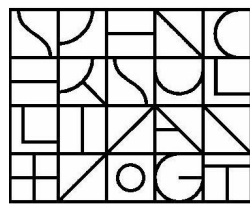
STRUCTURAL PLAN VIEWS ILLUSTRATE FRAMING MEMBERS AT THE DESIGNATED LEVEL AND SUPPORTING MEMBERS BETWEEN DESIGNATED LEVEL AND LEVEL IMMEDIATELY BELOW

	NEW CONCRETE
	EXISTING CONCRETE
	CLAY BRICK
	GRAVEL/ CRUSHED STONE
	COMPACTED FILL
	UNDISTURBED FILL
	WOOD STUD WALL
	BEAM / COLUMN
	RANGE SCOPE OF JOISTS/RAFTERS

LIST OF ABBREVIATIONS

[N,N,N,N]	TOP OF FOOTING GRADE
(N,N,N,N)	TOP OF SLAB GRADE
NN,N,N,TOS	TOP OF STEEL GRADE
#	NUMBER
°	DEGREES
Ø	DIAMETER
'	FEET
"	INCHES
©	COPYRIGHT
±	APPROXIMATE, PLUS OR MINUS
@	AT, SPACING
&	AND
AB	ANCHOR BOLT
ARCH	ARCHITECTURAL
BP	BASE PLATE
BRP	BEARING PLATE TYPE
BWL	BEARING WALL
C#	COLUMN NUMBER
CJ	CONTRACTION JOINT
CL	CENTERLINE
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CW	CONCRETE WALL
DWG	DRAWING
EF	EACH FACE
EL	ELEVATION GRADE
ELEV	ELEVATION VIEW
EW	EACH WAY
EWEF	EACH WAY EACH FACE
F#	FOOTING MARK
FC	FULL CUT
FND	FOUNDATION
GA	GAUGE
GALV	GALVANIZED (HOT DIPPED)
GB	GRADE BEAM
HORZ	HORIZONTAL
HP	HIGH POINT
LLV	LONG LEG VERTICAL
LP	LOW POINT
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MIN	MINIMUM
NLB	NON LOAD BEARING
OC	ON CENTER
PT	PRESSURE TREATED
PL	PLATE
PSL	PARALLEL STRAND LUMBER
REINF	REINFORCED
SOG	SLAB-ON-GRADE
SSP	STANDARD STEEL PIPE
SS	STAINLESS STEEL
T&B	TOP AND BOTTOM
TOF	TOP OF FOOTING
TOS	TOP OF SLAB, TOP OF STEEL
TOW	TOP OF WALL
TJI	WOOD I-JOIST
TYP	TYPICAL
UP#	UNDERPINNING TYPE
VERT	VERTICAL
W	WITH
WF#	WALL FOOTING TYPE
N*WO	WALL OVERLAY NOMINAL SIZE
WWF	WELDED WIRE FABRIC

ARCHITECT:



Spencer, Sullivan & Vogt

ARCHITECTURE PRESERVATION

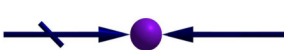
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WHITTEMORE-ROBBINS ESTATE
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BUILDINGS

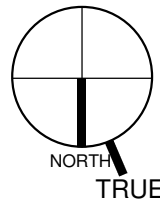
PROJECT: MCI No. 2021.12

WHITTEMORE-ROBBINS
ESTATE REHABILITATION
OF THREE BUILDINGS

COTTAGE INTERIOR
REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



1 4/23/2022 FOR BIDDING

Date Description

ISSUANCES:

SEAL:

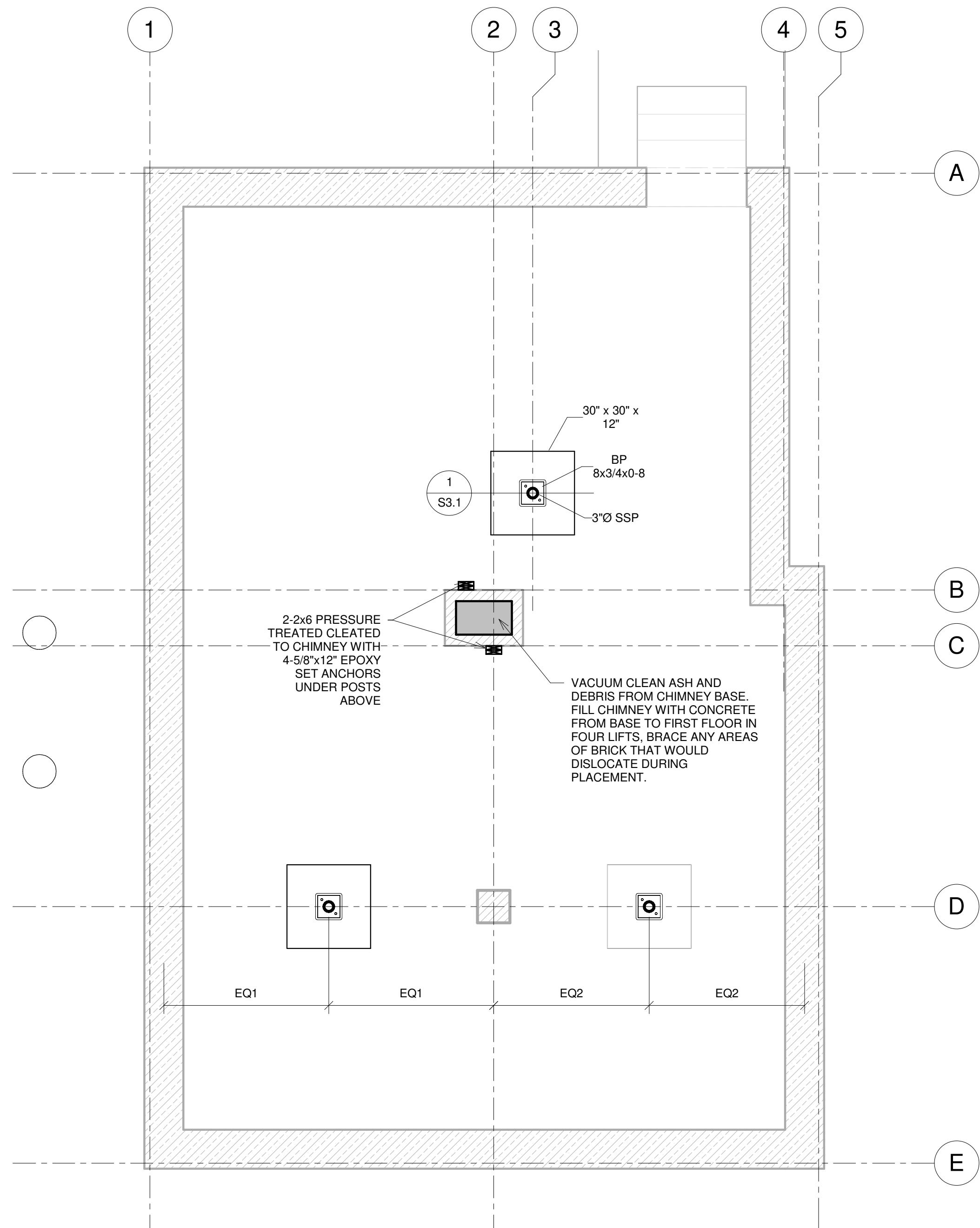
SHEET TITLE:

COTTAGE - GENERAL
NOTES

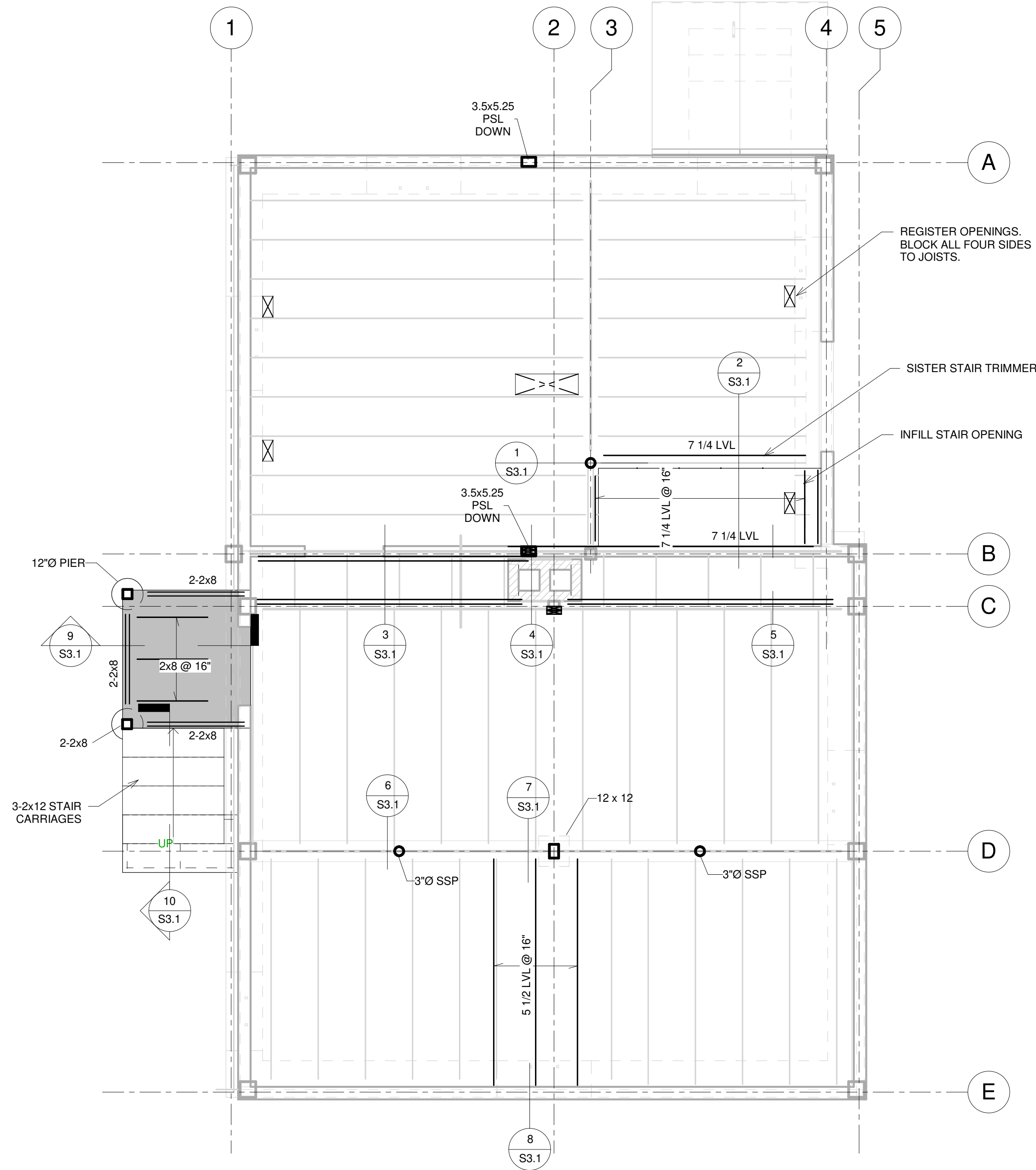
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S0.1

FOR BIDDING

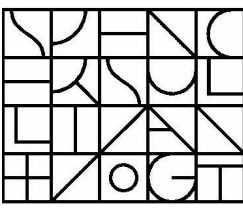


A Foundation Plan
3/8" = 1'-0"



B 1st Floor Framing Plan
3/8" = 1'-0"

ARCHITECT:



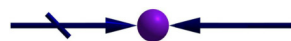
Spencer, Sullivan & Vogt
ARCHITECTURE PRESERVATION

1 Thompson Square | Suite 204
Charlestown, MA 02129-3308
T: (617) 861-4291
www.SSVarchitects.com

Andrew Jerome. Cannata, AIA
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Telephone: (617) 436-4962 | AJCannata@verizon.net

CONSULTANT:



MacLeod Consulting, Inc.

29 Woods Road
Belmont, MA 02478
structural engineering
(617) 484-4733

OWNER:



WHITTEMORE-ROBBINS ESTATE
670R Massachusetts Avenue-IREE
Arlington, MA 02476
DUELLINGS

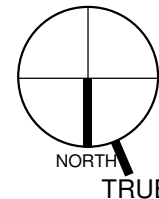
PROJECT: MCI No. 2021.12

**WHITTEMORE-ROBBINS
ESTATE REHABILITATION
OF THREE BUILDINGS**

*COTTAGE INTERIOR
REHABILITATION*

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



1 4/23/2022 FOR BIDDING

#	Date	Description
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ISSUANCES:

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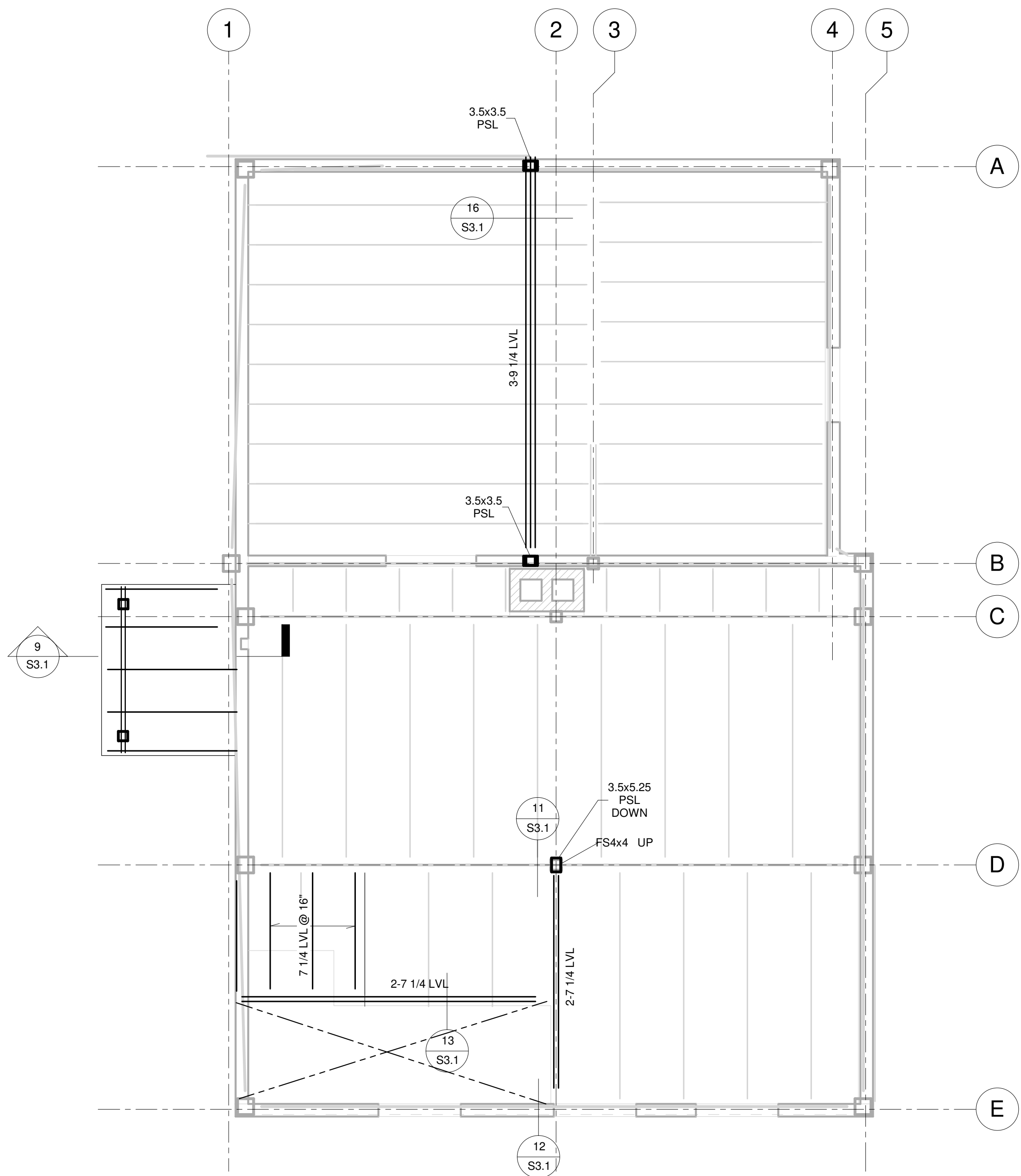
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**COTTAGE - FOUNDATION &
FIRST FLOOR FRAMING
PLANS**

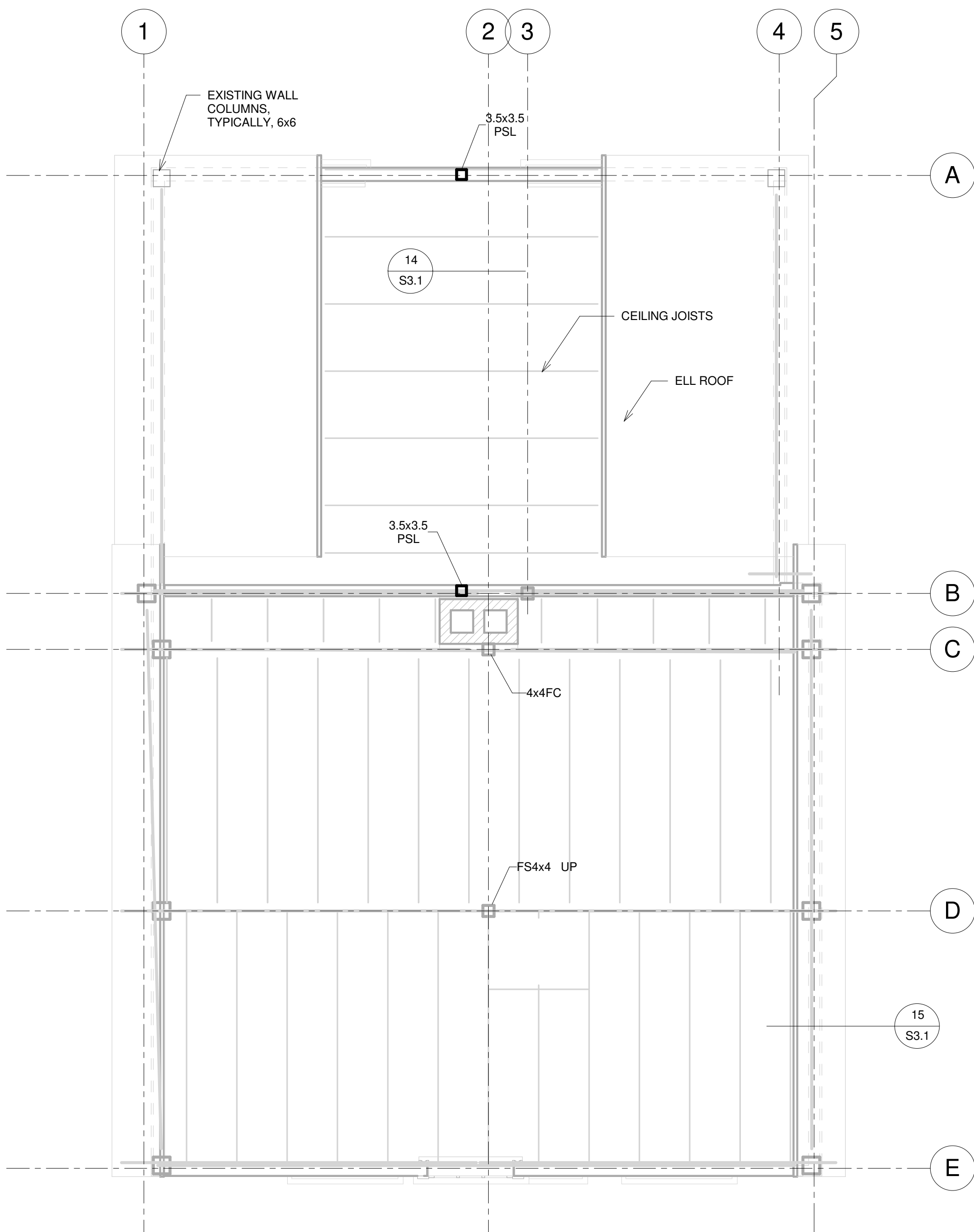
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FOR BIDDING



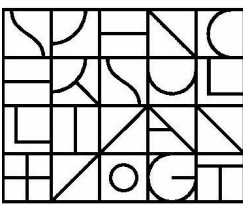
A 2nd floor framing
3/8" = 1'-0"



B Attic Floor Framing Plan
3/8" = 1'-0"

FOR BIDDING

ARCHITECT:



Spencer, Sullivan & Vogt

ARCHITECTURE PRESERVATION

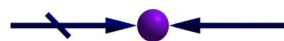
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Arlington, MA 02476
DUE DINGS

PROJECT: MCI No. 2021.12

**WHITTEMORE-ROBBINS
ESTATE REHABILITATION
OF THREE BUILDINGS**

*COTTAGE INTERIOR
REHABILITATION*

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



1	4/23/2022	FOR BIDDING
#	Date	Description

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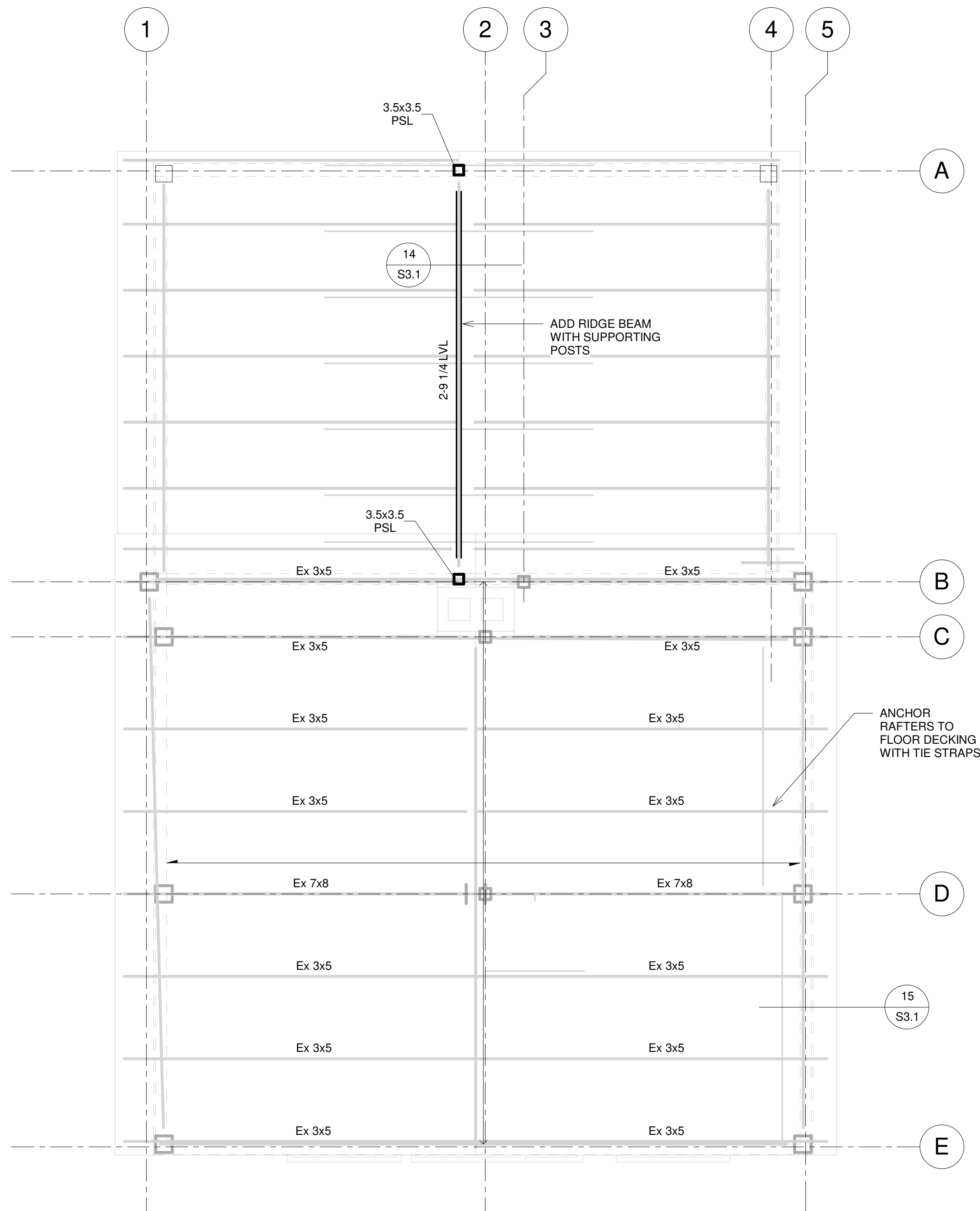
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**COTTAGE - SECOND
FLOOR AND ATTIC
FRAMING PLANS**

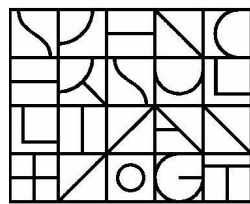
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S1.2



A Roof Framing Plan
3/8" = 1'-0"

ARCHITECT:



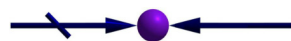
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670R Massachusetts Avenue-1 REE
Arlington, MA 02476
DUEBING

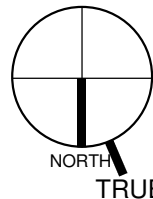
PROJECT: MCI No. 2021.12

WHITTEMORE-ROBBINS
ESTATE REHABILITATION
OF THREE BUILDINGS

COTTAGE INTERIOR
REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



1	4/23/2022	FOR BIDDING
#	Date	Description

ISSUANCES:

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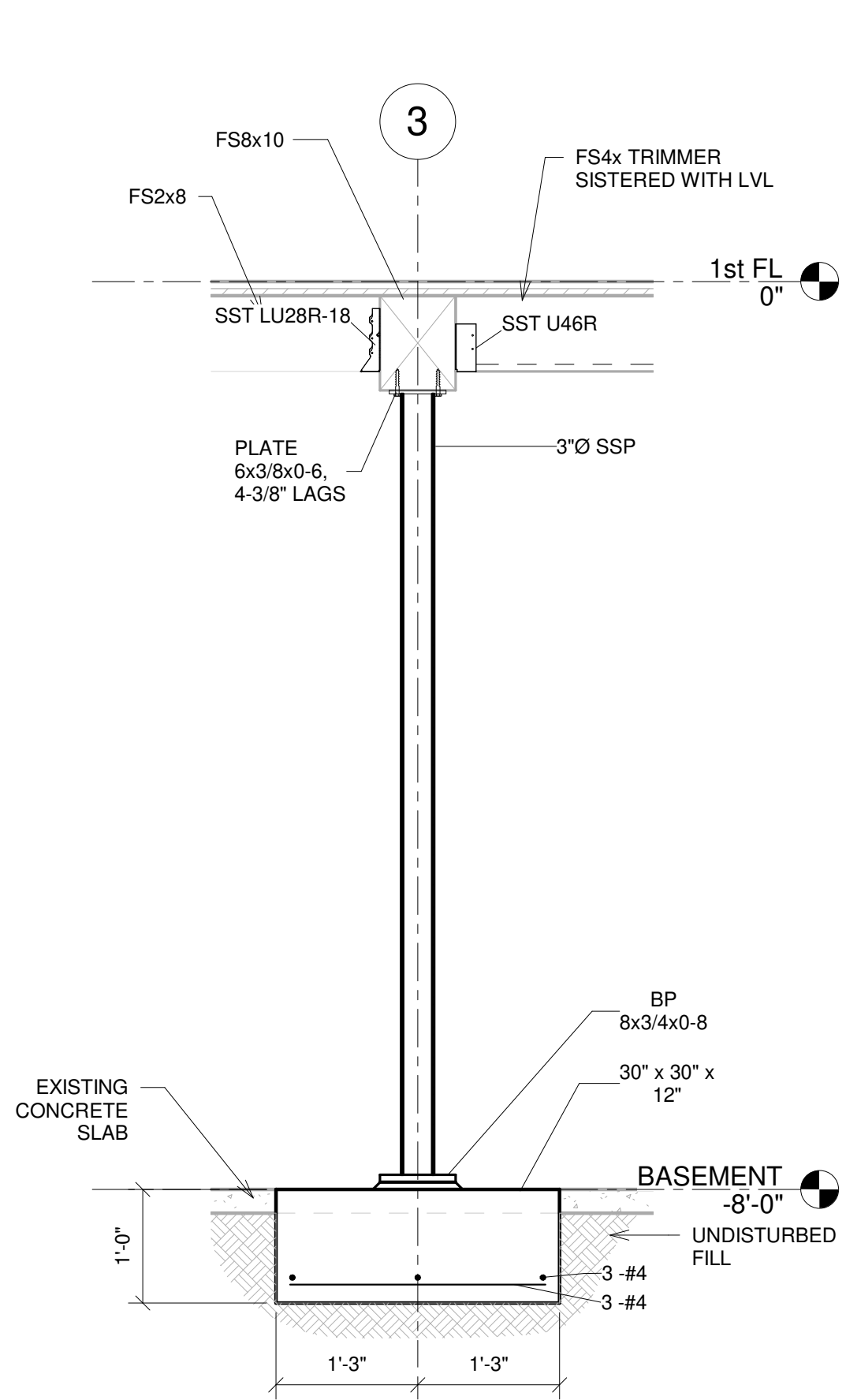
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COTTAGE - ROOF FRAMING
PLAN

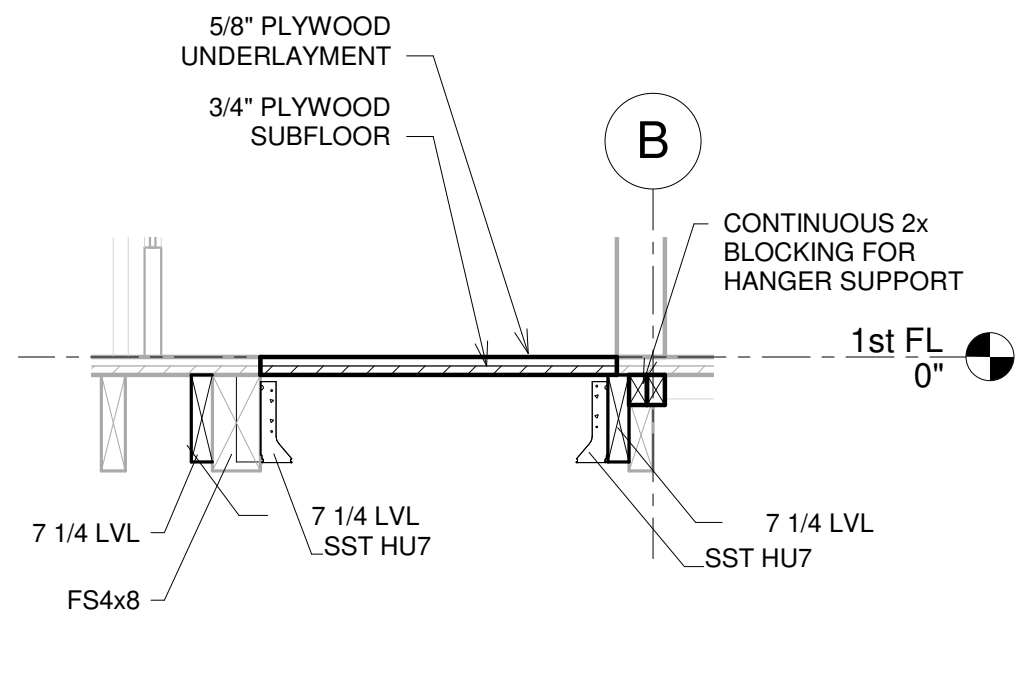
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S1.3

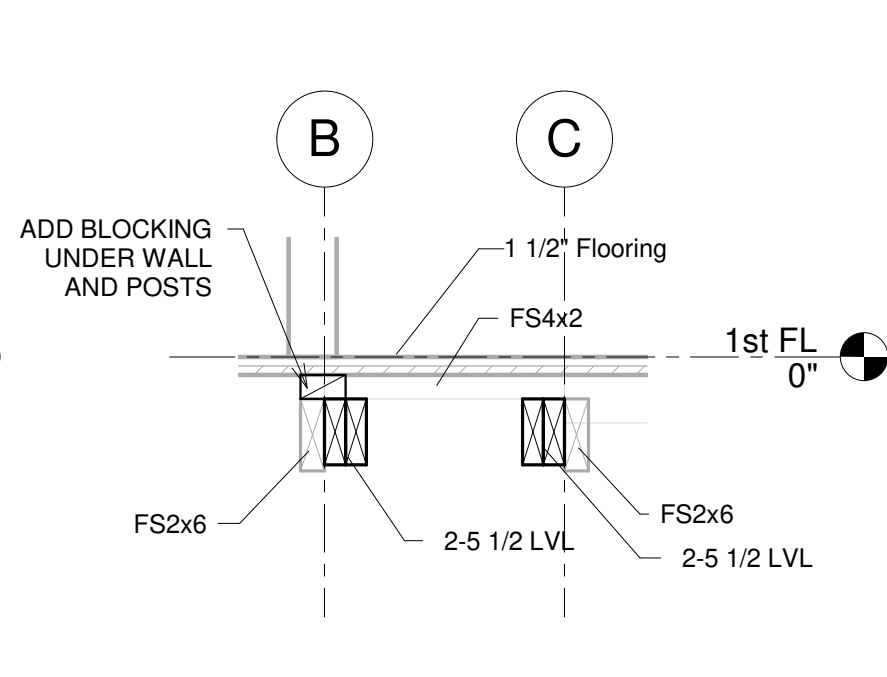
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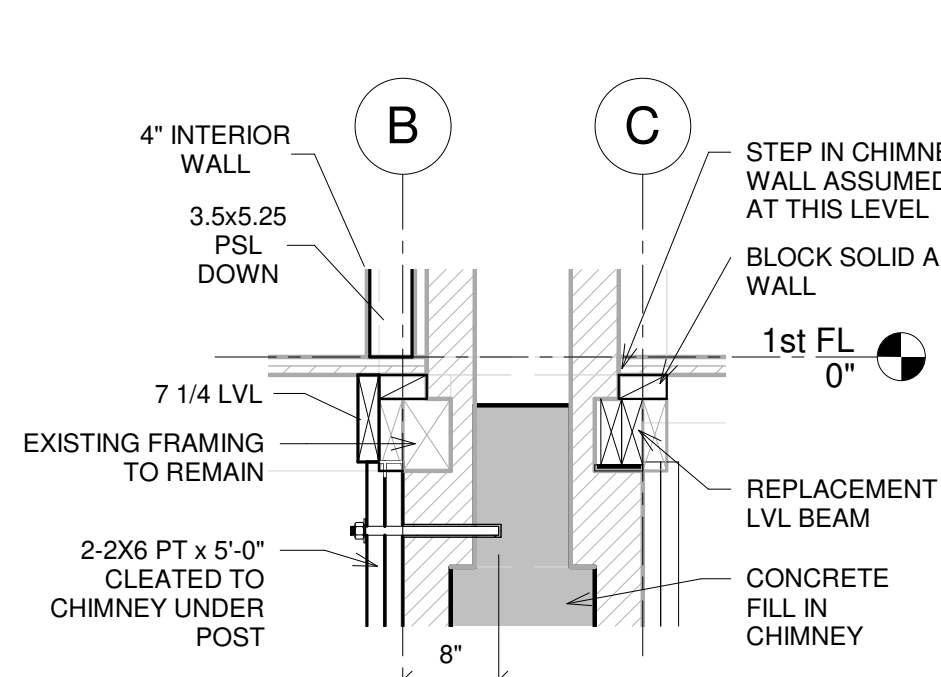
1 TYPICAL PIPE POST ON FOOTING
3/4" = 1'-0"



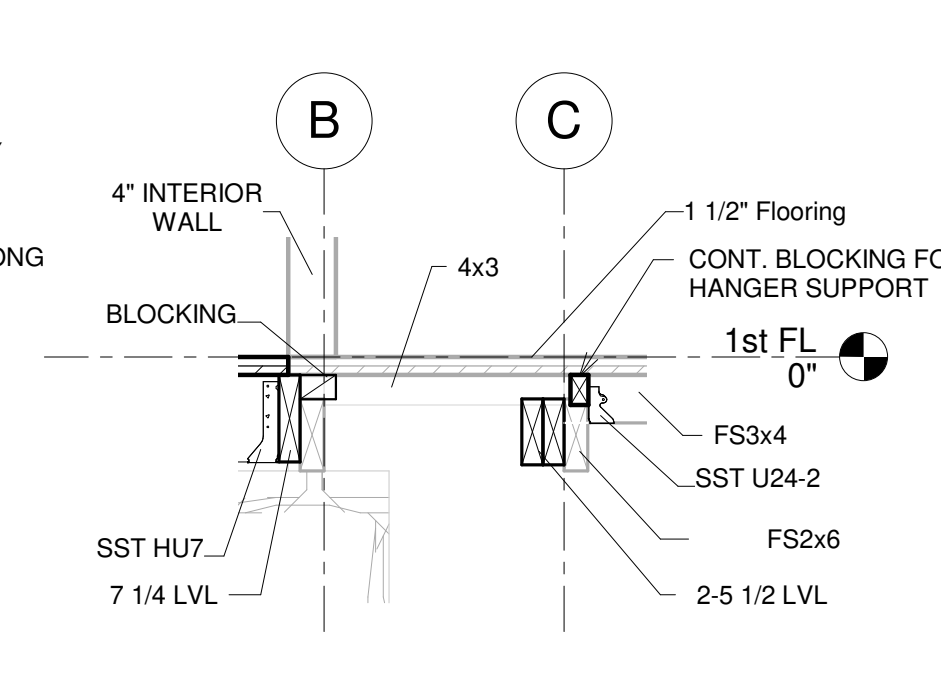
2 SECTION AT STAIR INFILL FLOOR
3/4" = 1'-0"



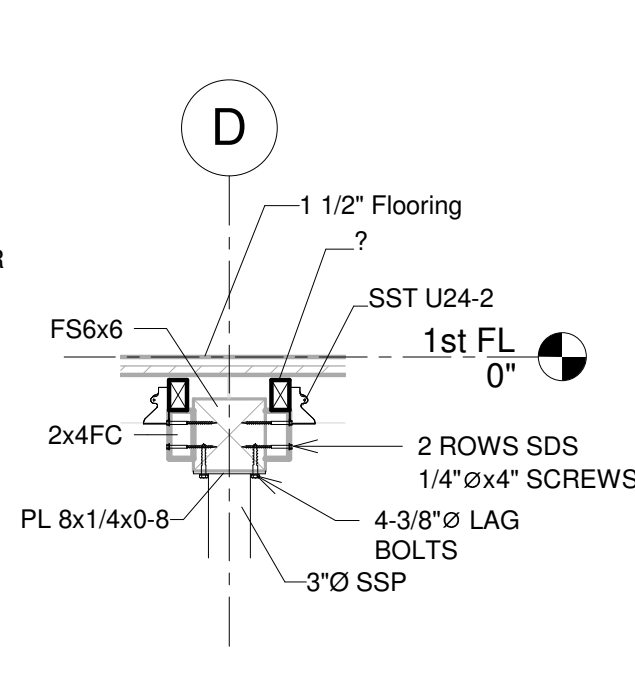
3 REPLACEMENT OF SHORED CHIMNEY TRIMMERS
3/4" = 1'-0"



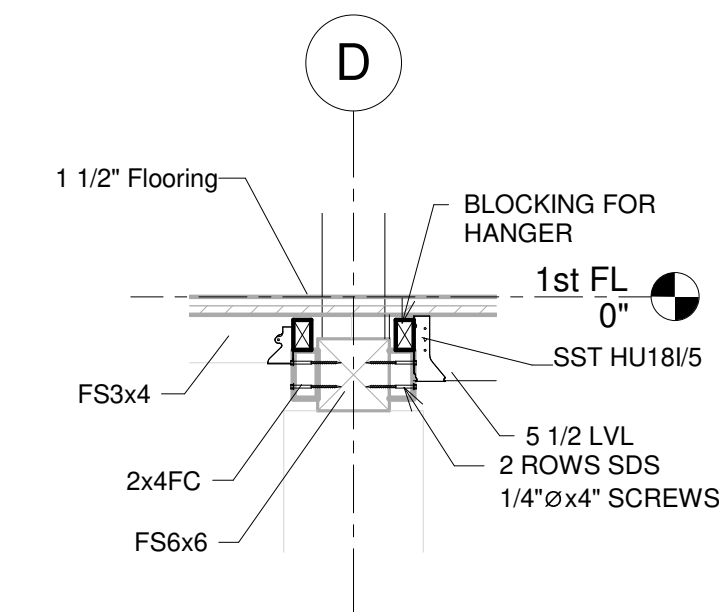
4 TOP OF CHIMNEY GROUT
3/4" = 1'-0"



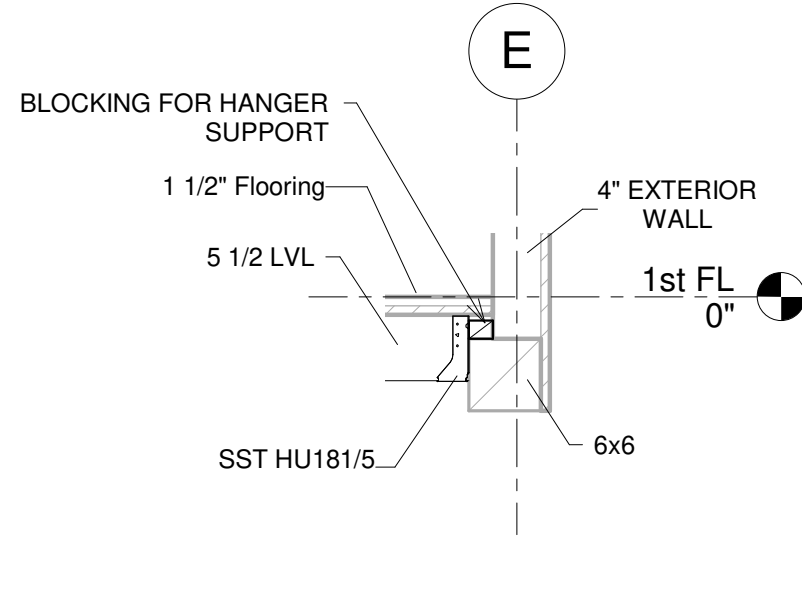
5 TOP OF CHIMNEY GROUT
3/4" = 1'-0"



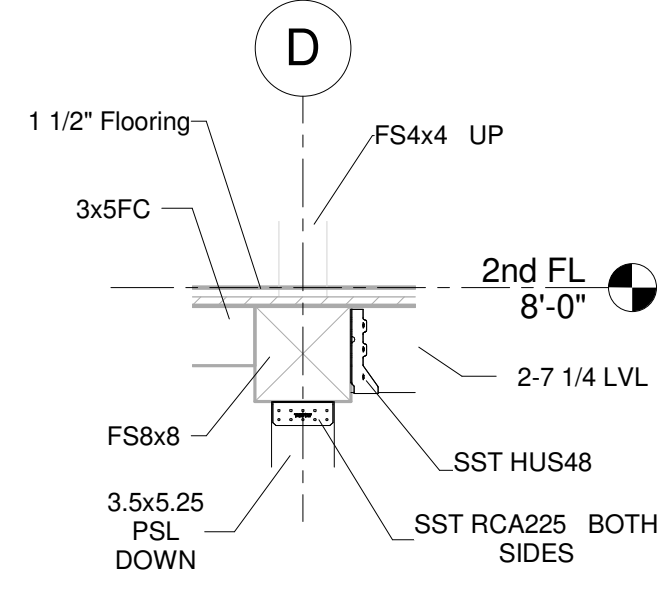
6 PIPE COLUMN RESUPPORT CAP
3/4" = 1'-0"



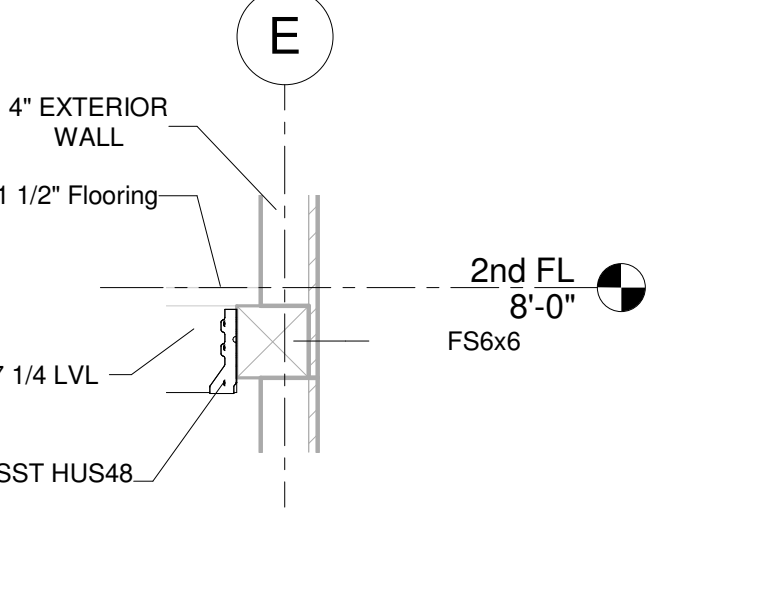
7 BEAM SUPPORT ON BRICK PIER
3/4" = 1'-0"



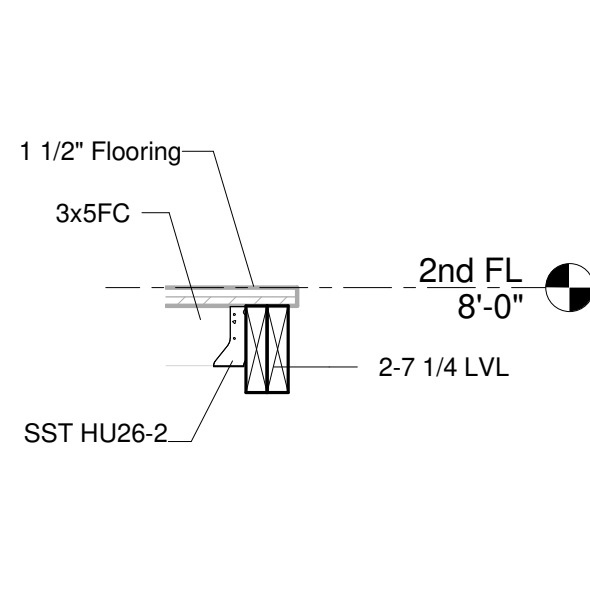
8 JOIST TO EXISTING TIMBER SILL
3/4" = 1'-0"



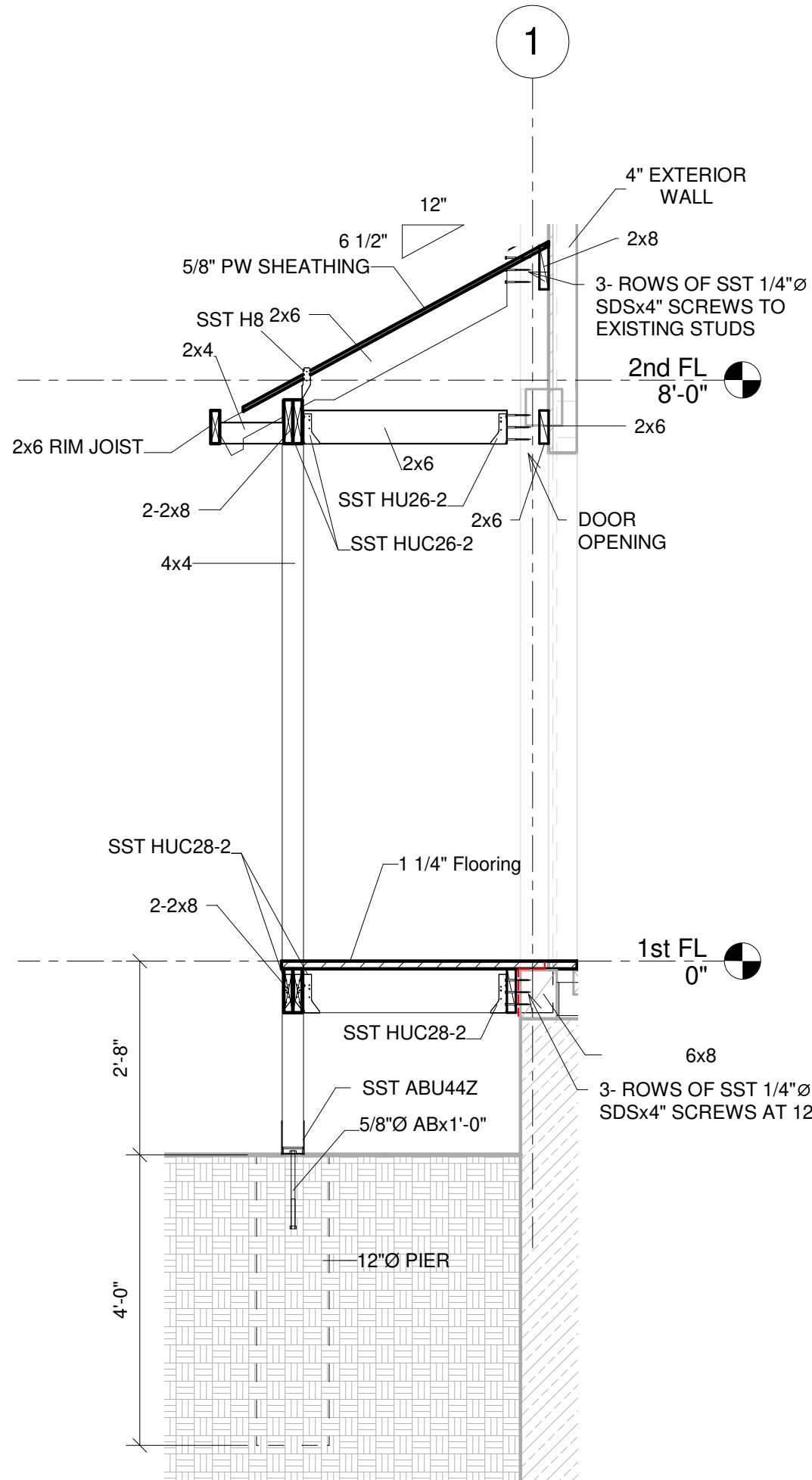
11 LVL HEADER TO EXISTING BEAM
3/4" = 1'-0"



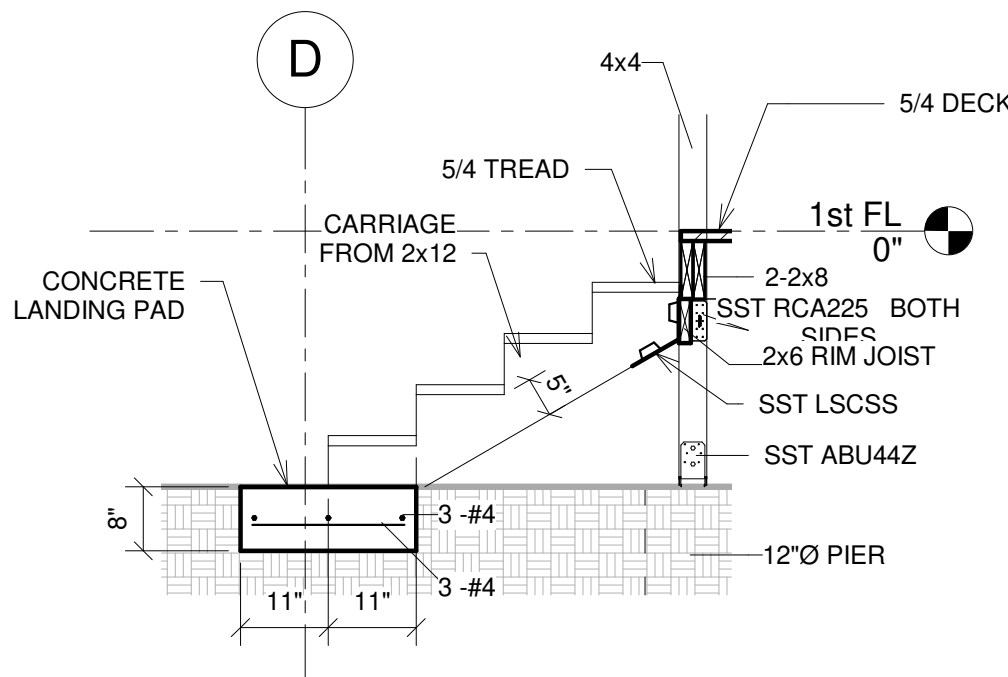
12 LVL HEADER TO EXISTING WALL PLATE
3/4" = 1'-0"



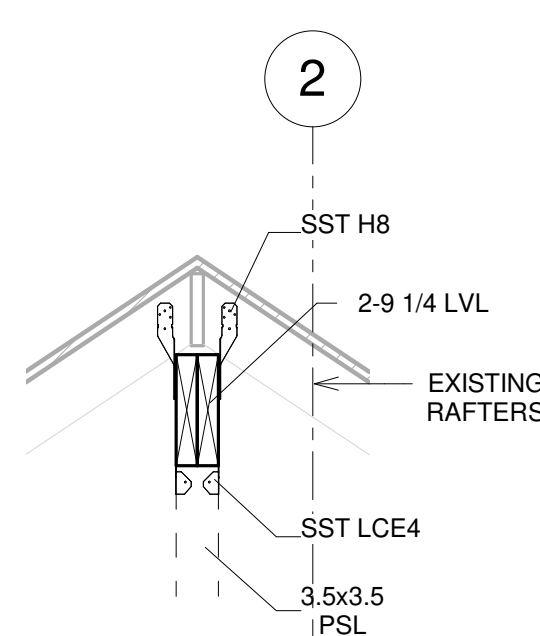
13 EXISTING JOISTS TO LVL HEADER
3/4" = 1'-0"



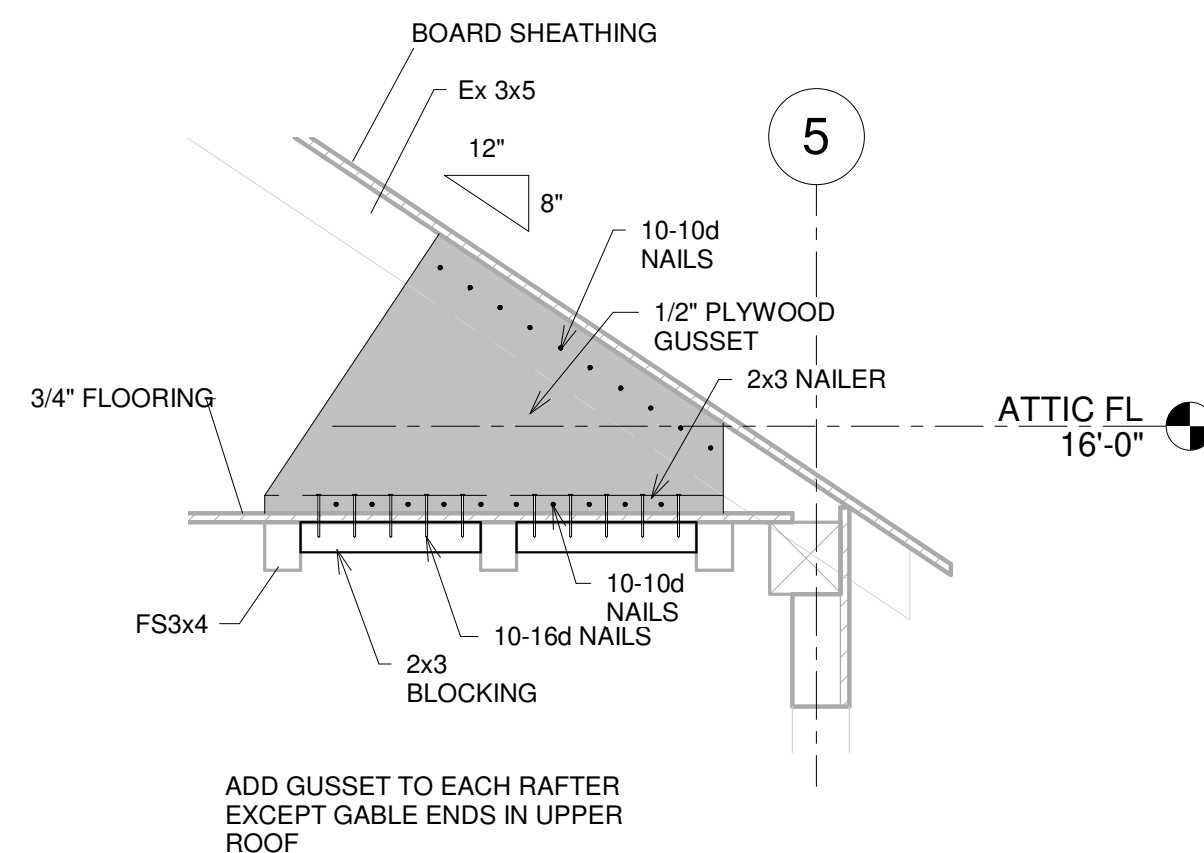
9 PORCH SECTION
1/2" = 1'-0"



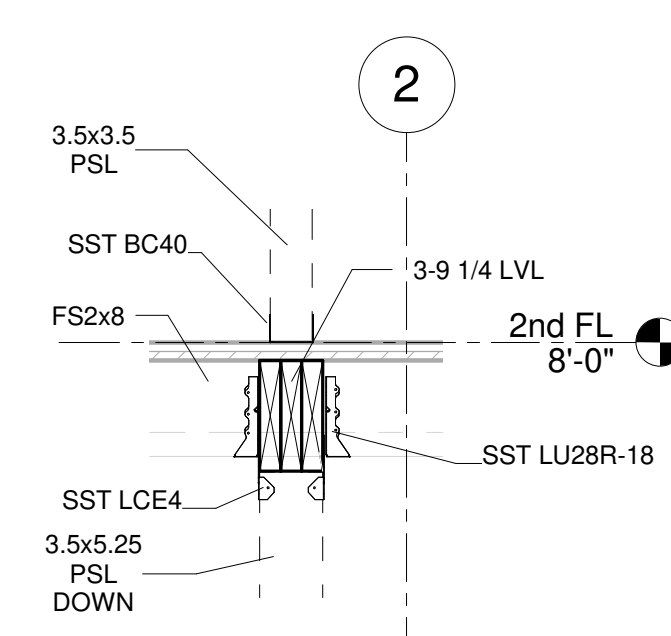
10 PORCH STAIR SECTION
1/2" = 1'-0"



14 RIDGE BEAM TO STUD POST
3/4" = 1'-0"

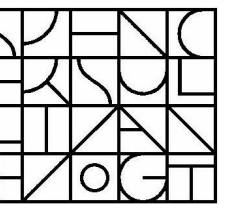


15 RAFTER TO FLOOR TIES
3/4" = 1'-0"



16 FLUSH FRAMED LVL
3/4" = 1'-0"

ARCHITECT:



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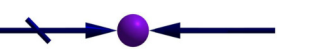
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Arlington, MA 02476
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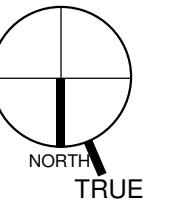
PROJECT: MCI No. 2021.12

WHITTEMORE-ROBBINS ESTATE REHABILITATION OF THREE BUILDINGS

COTTAGE INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



1 4/23/2022 FOR BIDDING

Date Description

ISSUANCES:

SEAL:

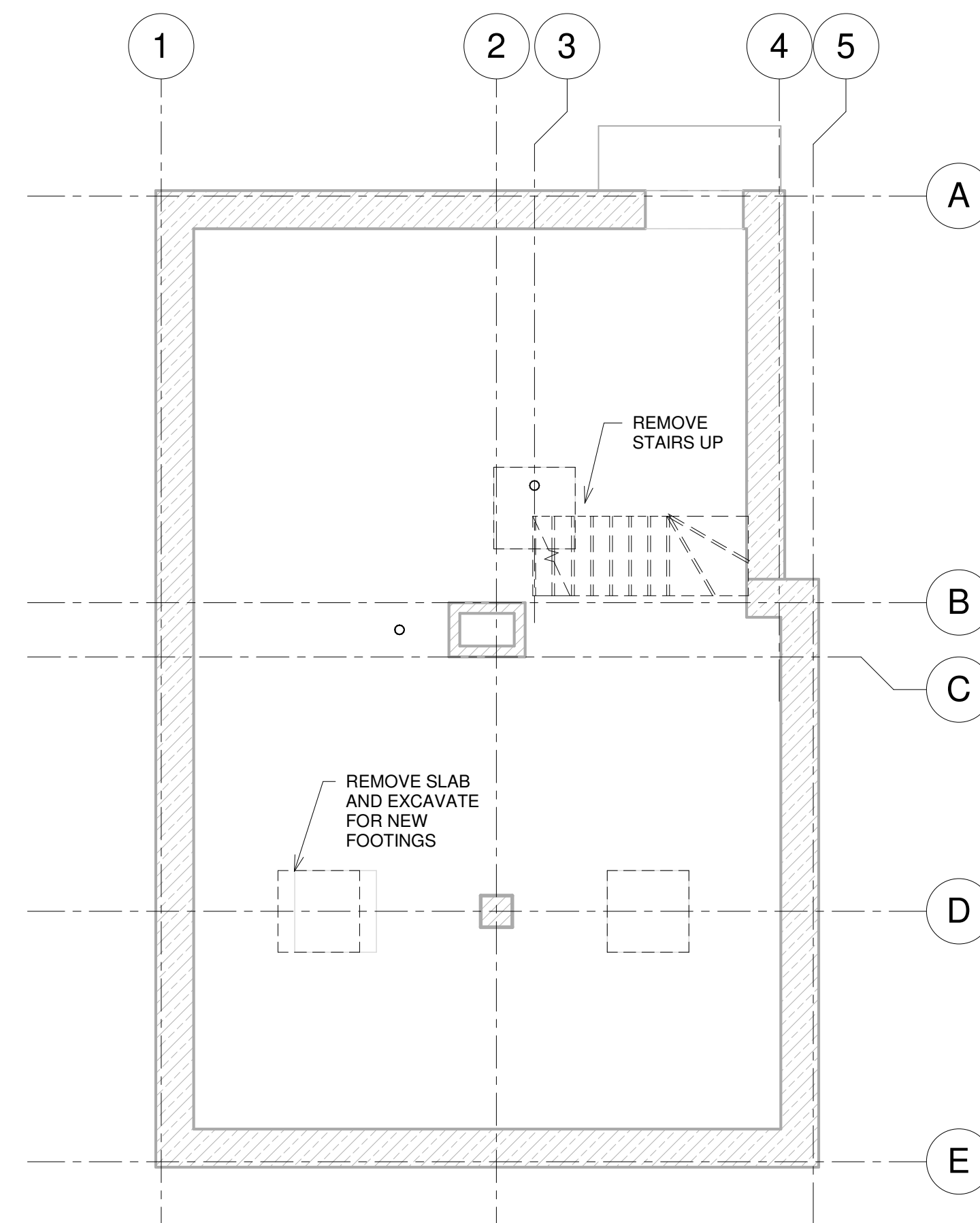
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COTTAGE - SECTIONS AND DETAILS

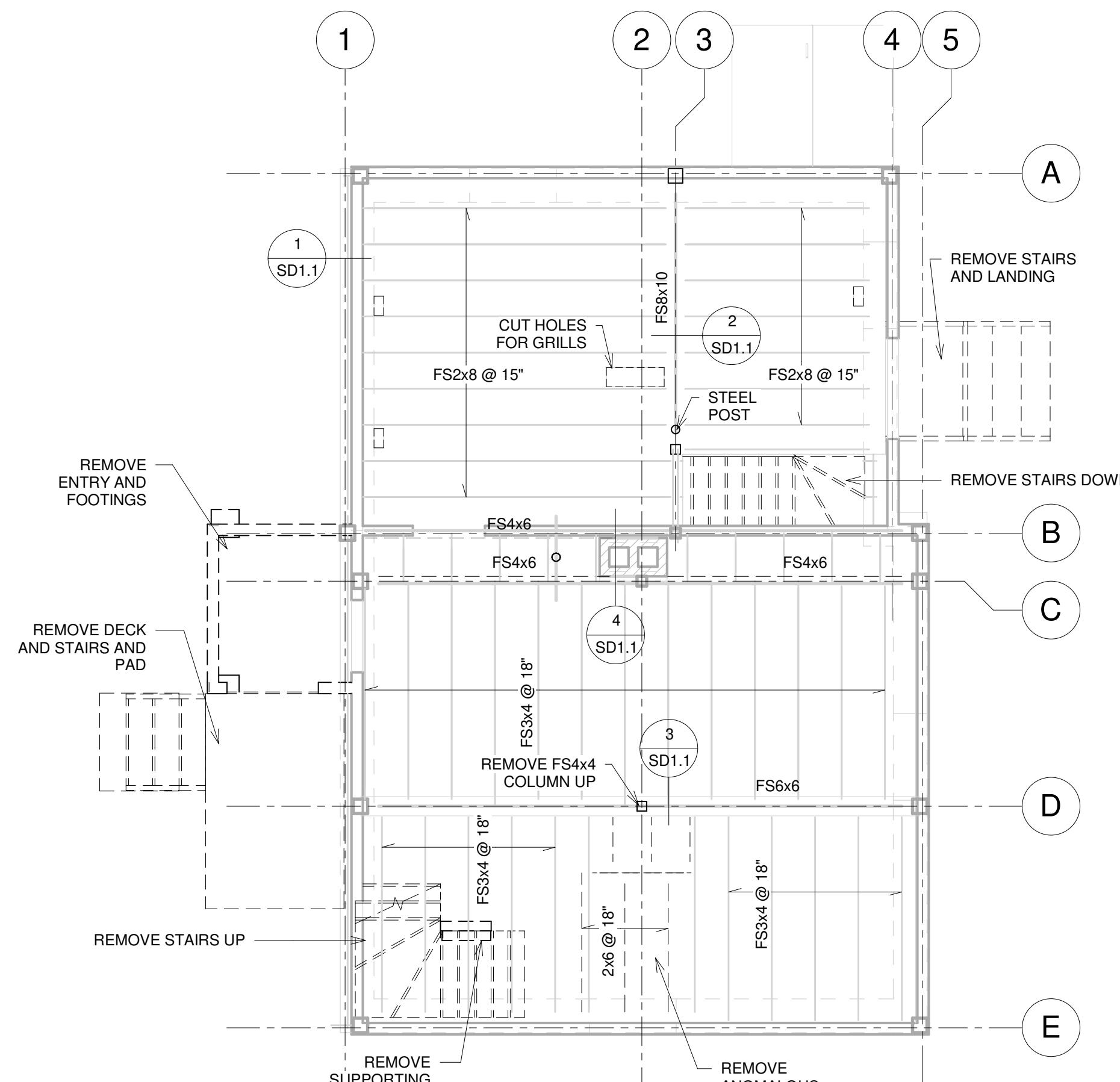
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S3.1

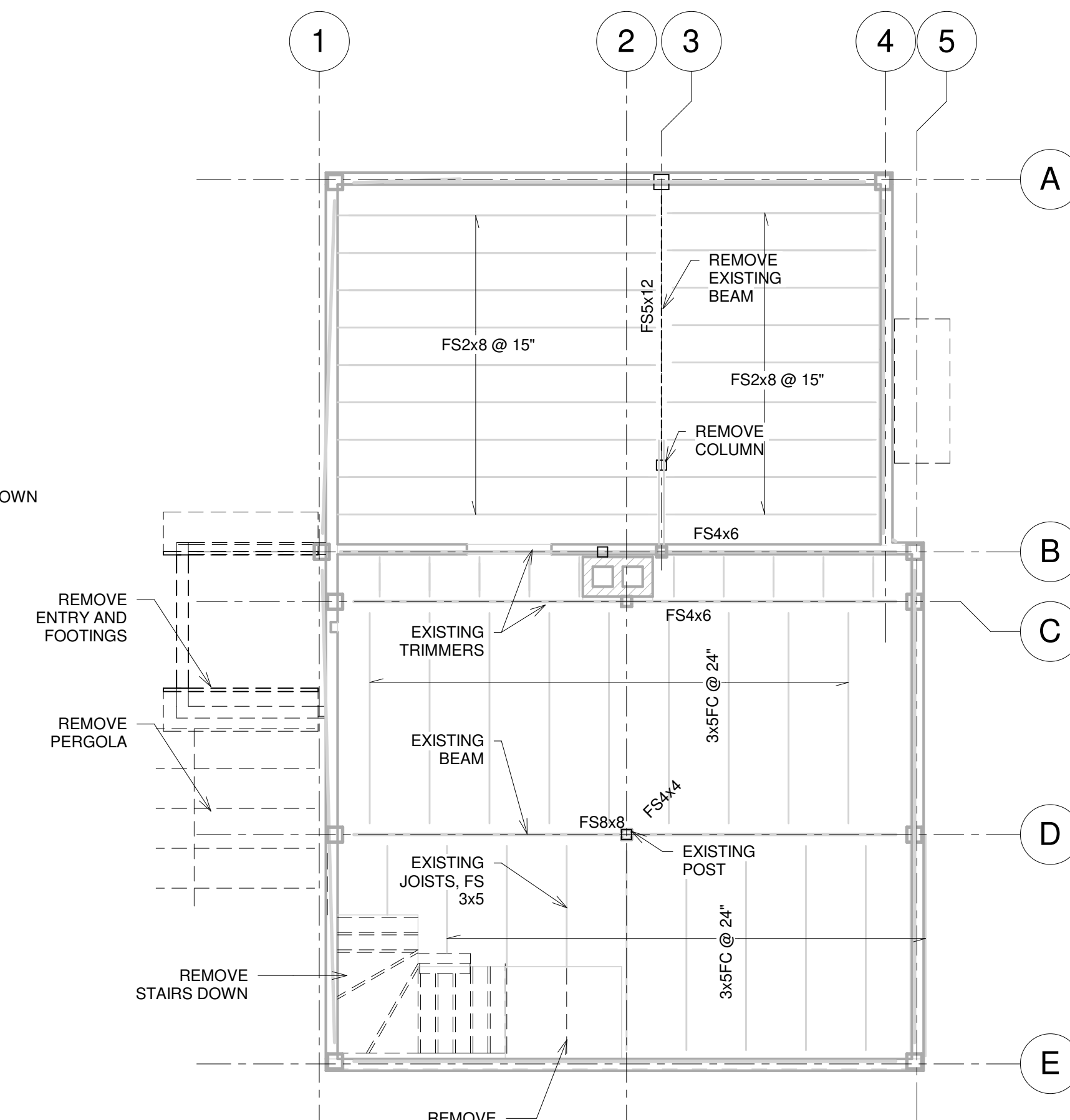
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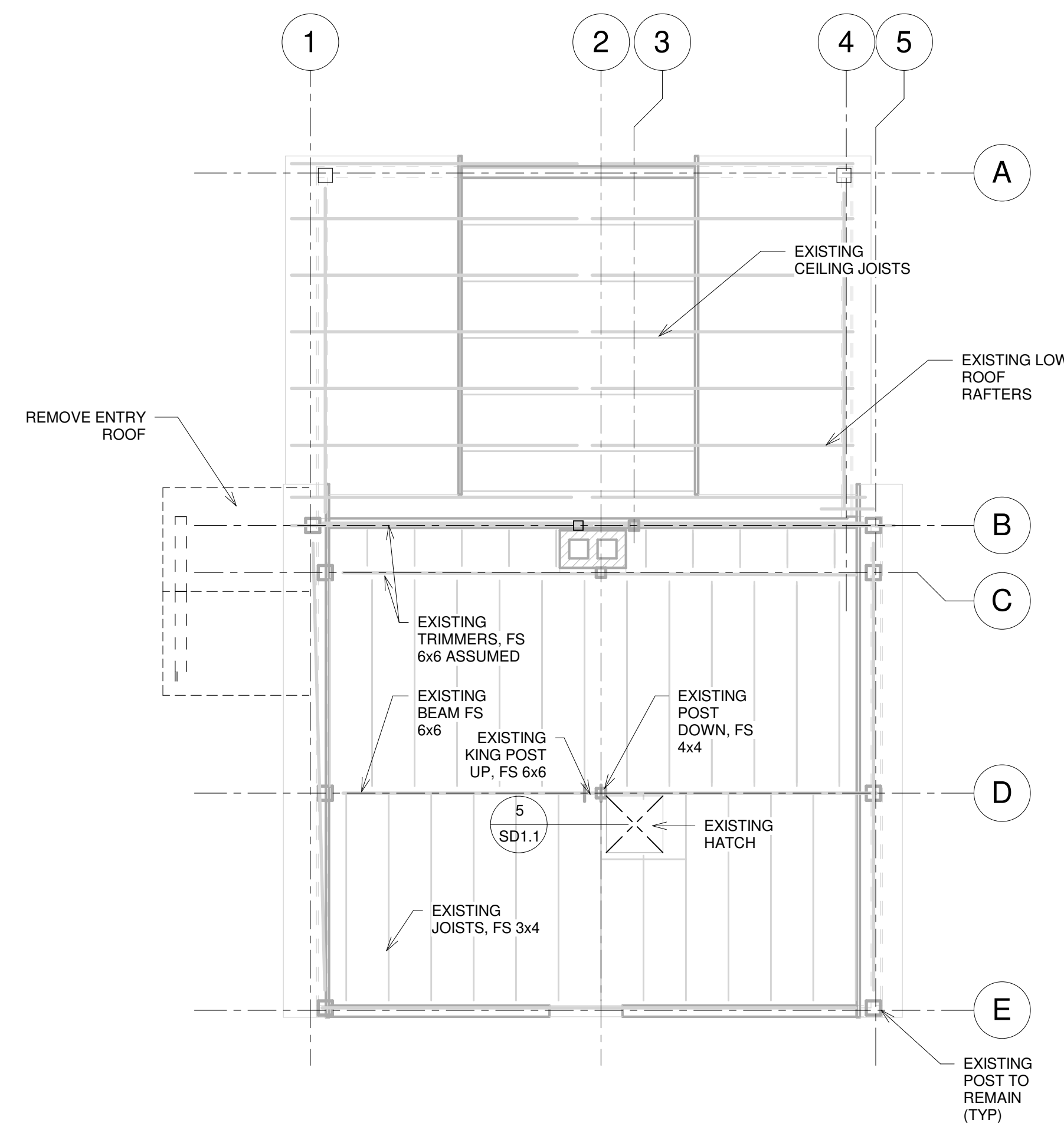
A FOUNDATION DEMOLITION PLAN
1/4" = 1'-0"



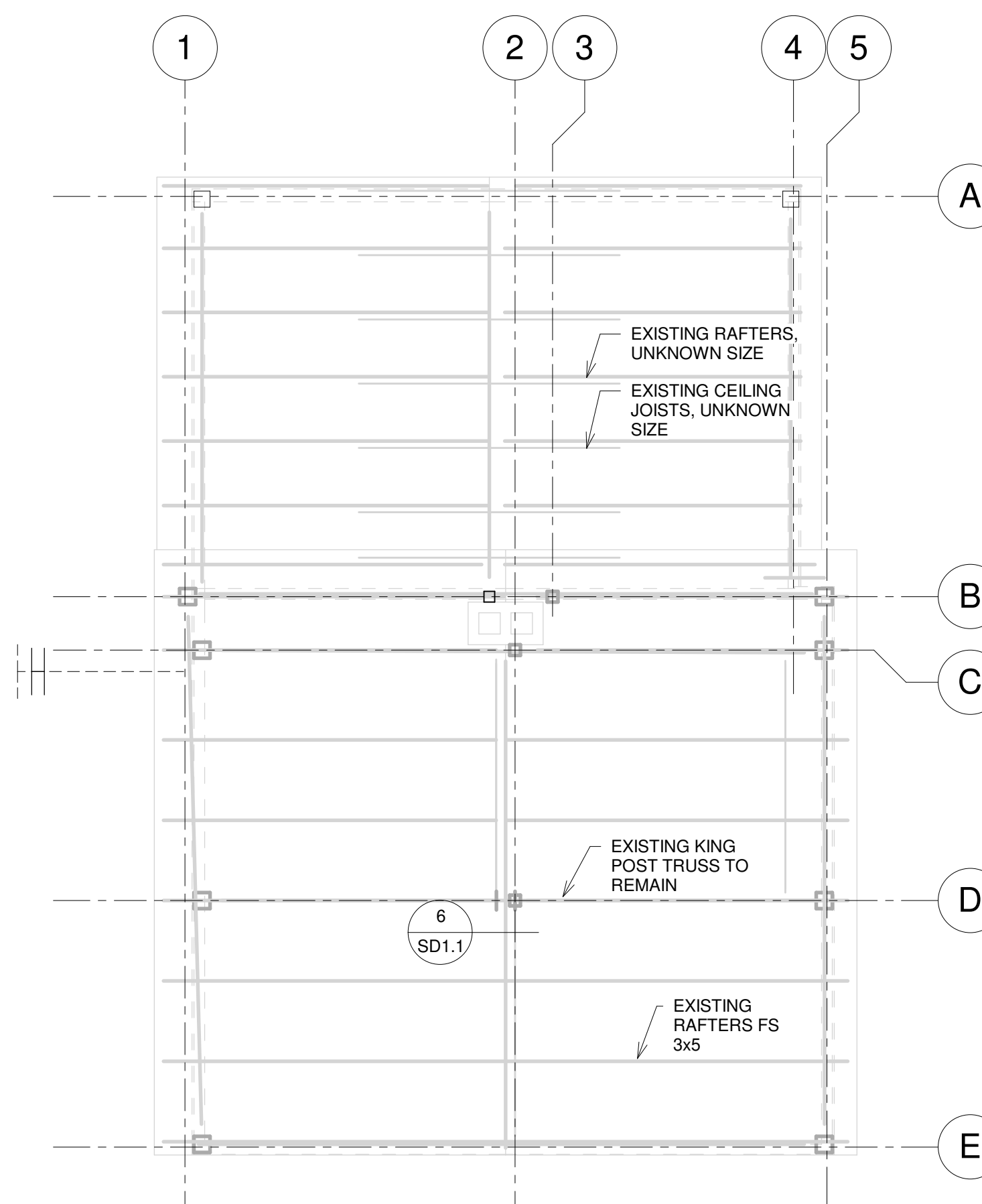
B 1st FLOOR FRAMING DEMOLITION PLAN
1/4" = 1'-0"



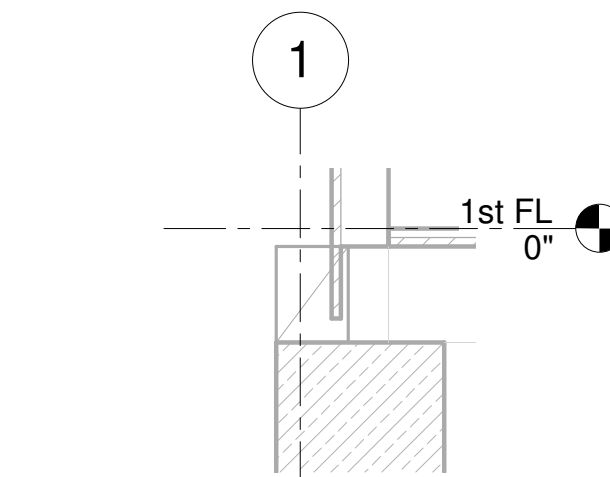
C 2ND FLOOR FRAMING DEMOLITION PLAN
1/4" = 1'-0"



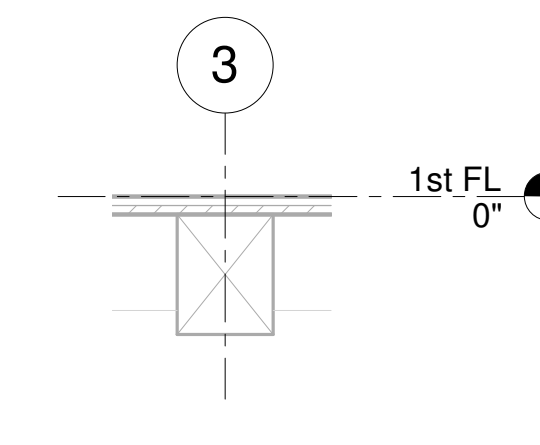
D ATTIC FLOOR FRAMING DEMOLITION PLAN
1/4" = 1'-0"



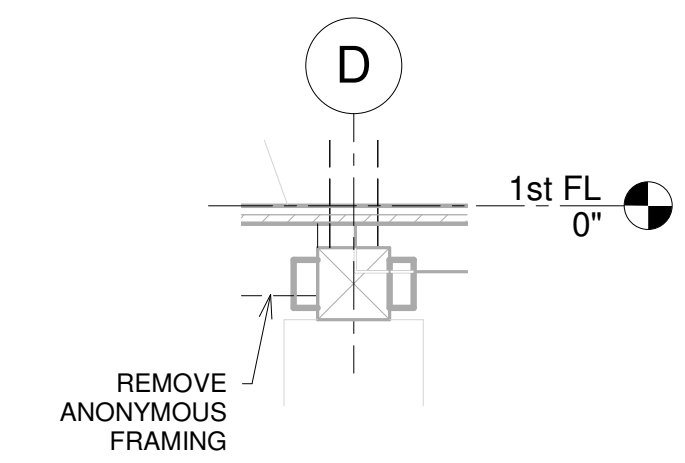
E ROOF FRAMING DEMOLITION PLAN
1/4" = 1'-0"



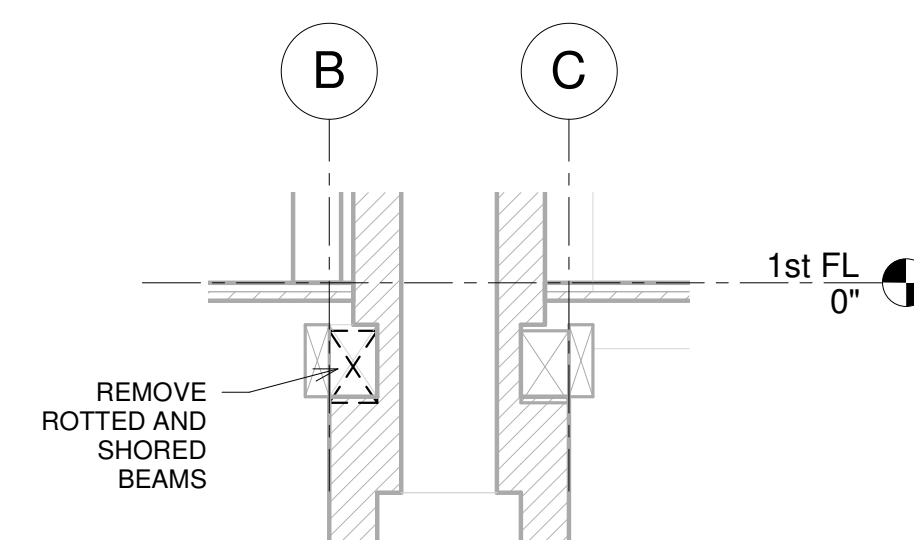
1 SILL AT FOUNDATION WALL
3/4" = 1'-0"



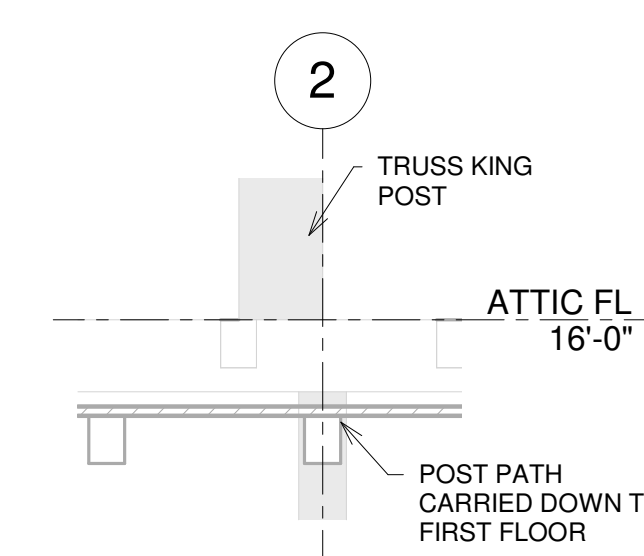
2 BASEMENT STRINGER IN ELL
3/4" = 1'-0"



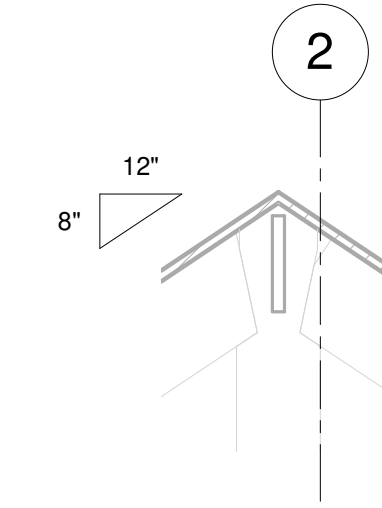
3 BASEMENT STRINGER
3/4" = 1'-0"



4 BEAMS FRAMED INTO CHIMNEY
3/4" = 1'-0"



5 KING POST TO POST AT ATTIC
3/4" = 1'-0"



6 KING POST TO TRUSS TOP
3/4" = 1'-0"

ARCHITECT:

Spencer, Sullivan & Vogt
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670R Massachusetts Avenue-IREE
Arlington, MA 02476
DUE DINGS

PROJECT: MCI No. 2021.12
WHITTEMORE-ROBBINS ESTATE REHABILITATION OF THREE BUILDINGS
COTTAGE INTERIOR REHABILITATION
670R Massachusetts Avenue
Arlington, MA 02476

KEY:

NORTH
TRUE

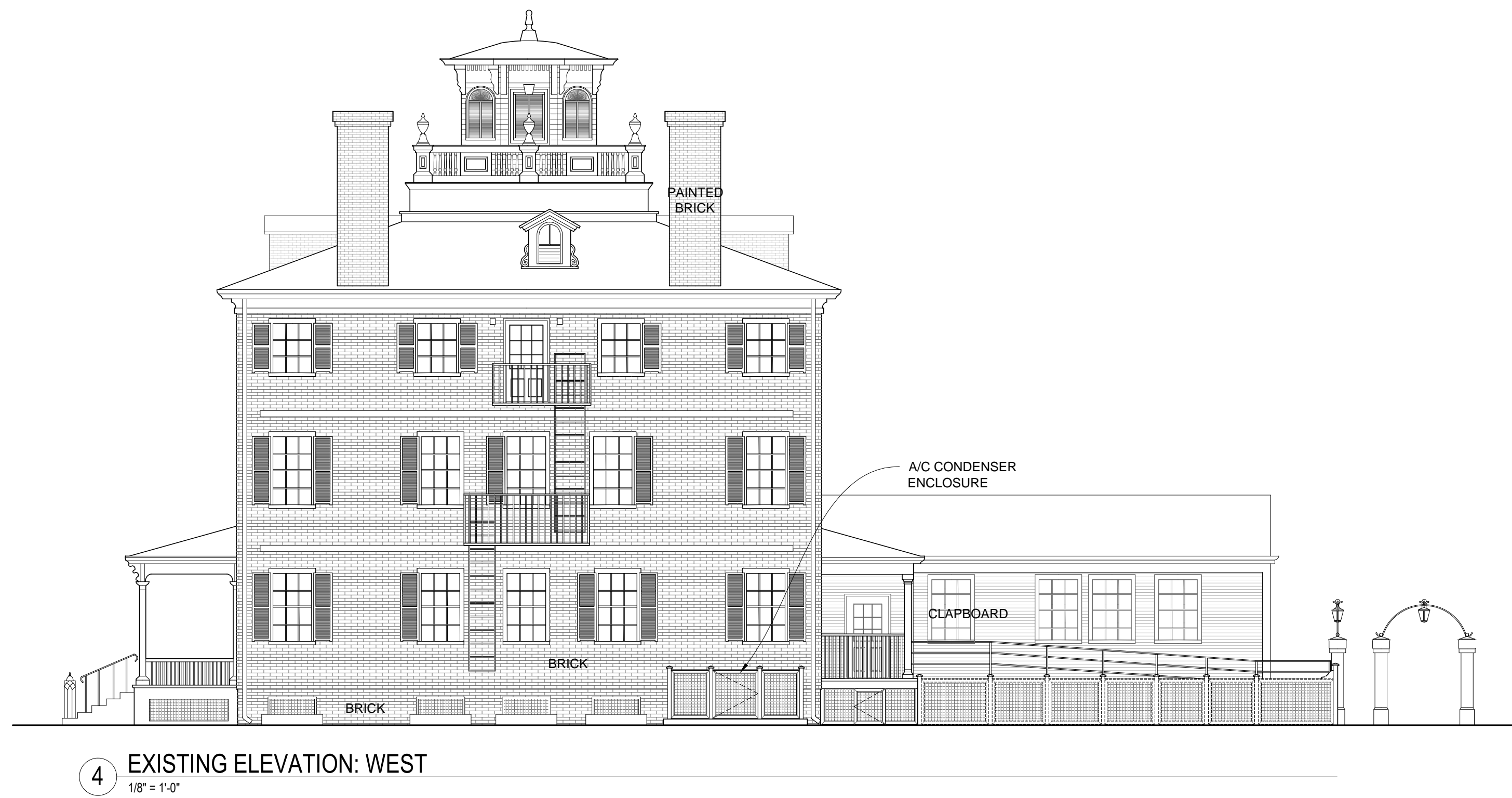
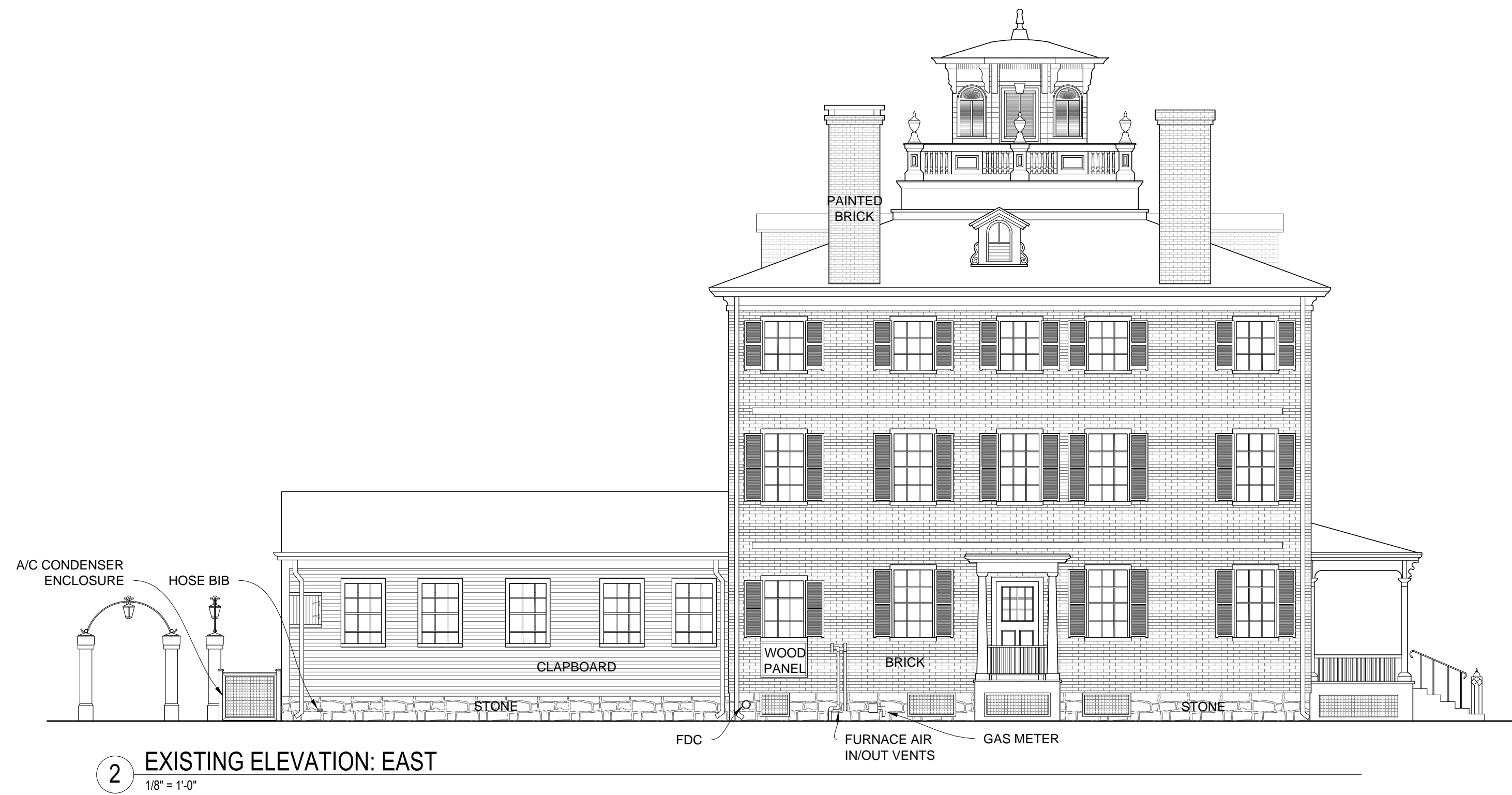
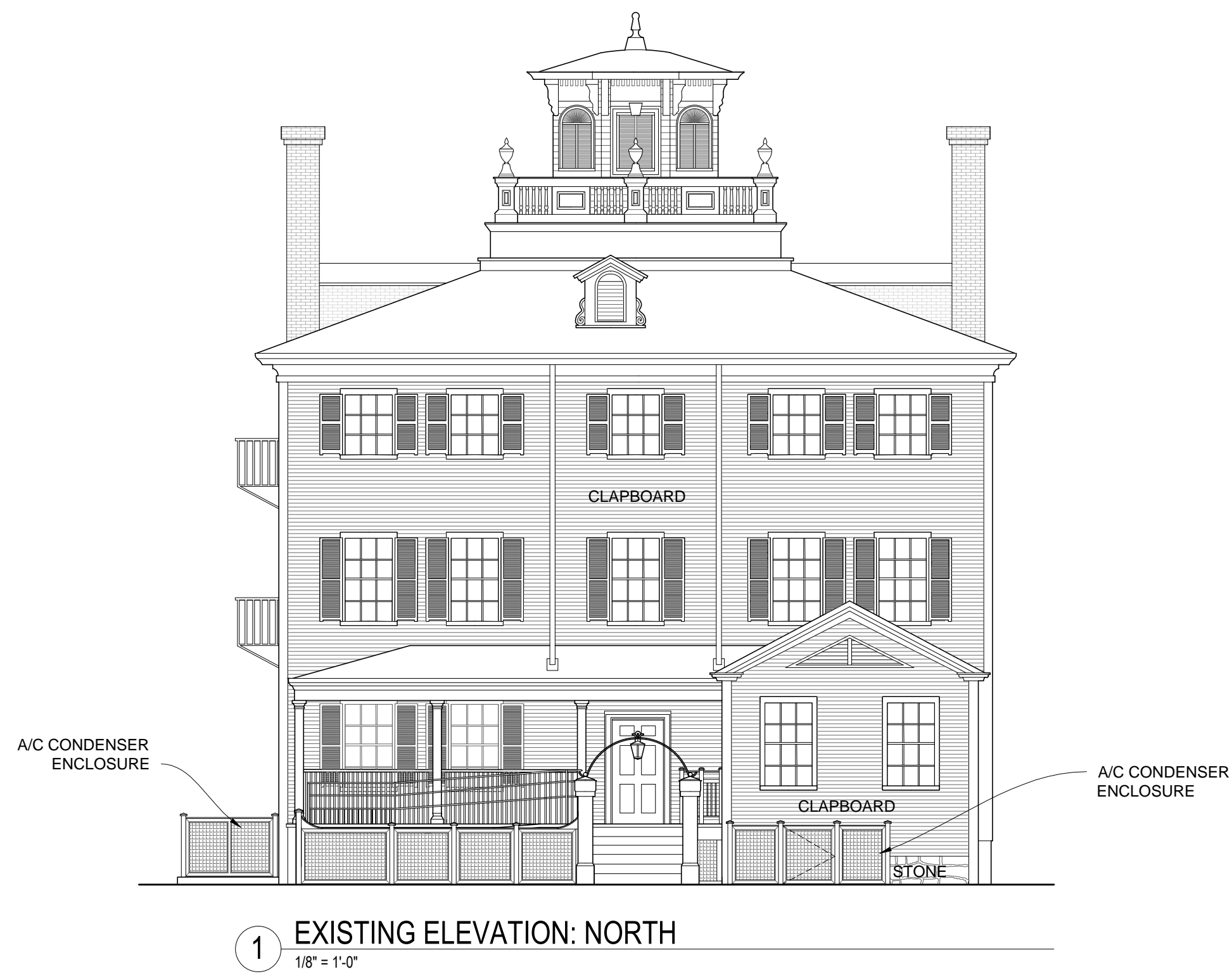
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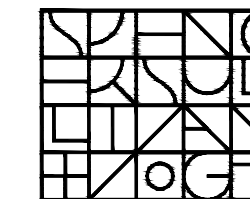
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COTTAGE - STRUCTURAL DEMOLITION PLAN

SHEET #:
SD1.1

FOR BIDDING



ARCHITECT:



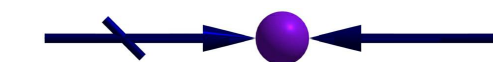
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OWNER:



Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
MANSION
EXTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:

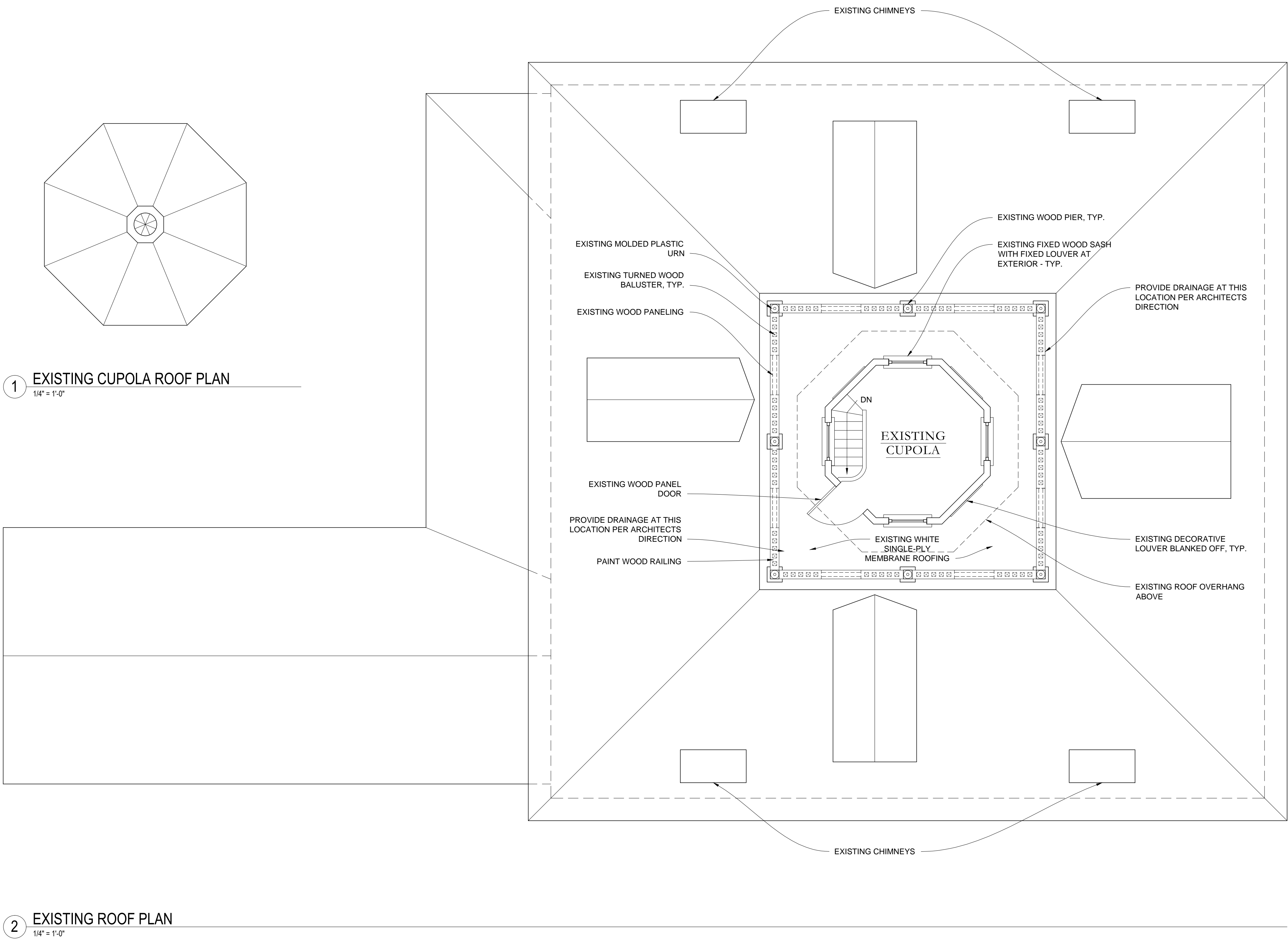


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#	DATE	DESCRIPTION
ISSUANCES:		
SEAL:		

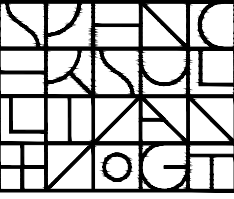
SHEET TITLE:
**MANSION - EXISTING
EXTERIOR ELEVATIONS**

SHEET #:

A-100

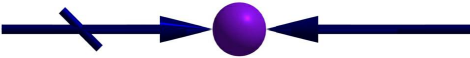


ARCHITECT:



Spencer, Sullivan & Vogt
ARCHITECTURE • PRESERVATION
1 Thompson Square | Suite 504
Charlestown, MA 02129-3308
T: (617) 861-4291
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29 Woods Road
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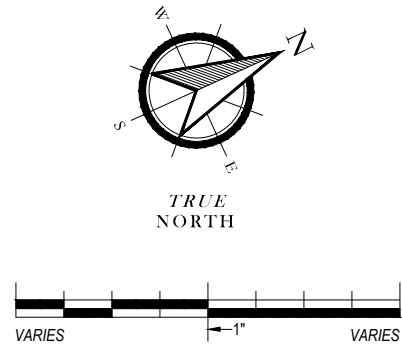
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
MANSION
EXTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:

SEAL:

SHEET TITLE:

**MANSION - EXISTING ROOF
PLAN**

SHEET #:

A-101



Andrew Jerome Cannata, AIA
Architect

CONSULTANT:

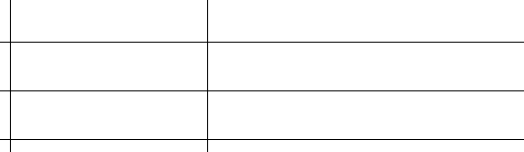


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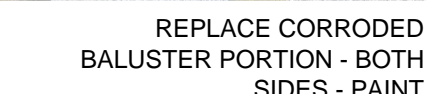
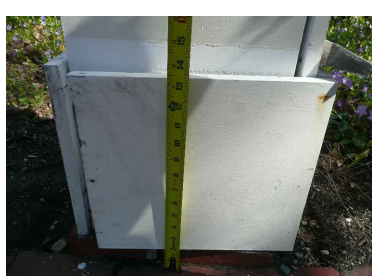
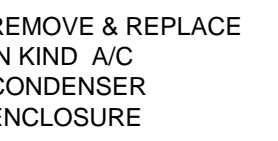
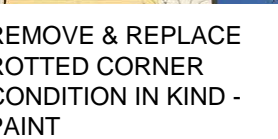
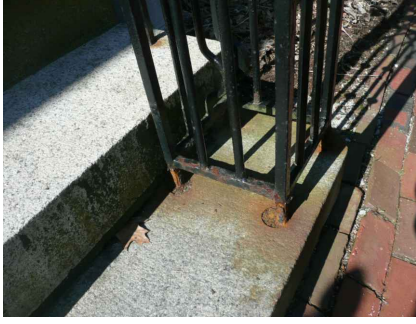
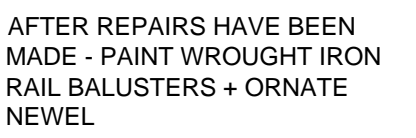
WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
MANSION
EXTERIOR REHABILITATION

KEY:



SHEET #:

A-102


$$1/8'' = 1'-0''$$
$$18^0 = 1^0 \cdot 0^0$$
$$1/8'' = 1'-0''$$

18" - 1'-0"

SHEET #:

		EXISTING OPERATION PERCENTAGE	REMOVE PAINT, REPAIR SASH, & REPAIR JOINTS	REMOVE, RE-GLAZE, & PUTTY ALL GLASS LITES IN SASH	REPLACE BROKEN OR MISSING GLASS LITES	PREP/PAINT INTERIOR/EXTERIOR OF SASH & STOPS. INSTALL AND OIL NEW PARTING BEADS, AND OIL SASH TRACK.	PREP/PAINT INTERIOR & EXTERIOR OF SASH	INSTALL NEW WEATHERSTRIPPING	REPLACE/INSTALL SASH ROPE AND ATTACH TO EXISTING SASH WEIGHTS	REINSTALL STORM WINDOW	REPLACE FRAME AND SASH	REMARKS	
NORTH ELEV.	N-1	50%					●						
	N-2	100%					●						
	N-3	50%			●		●	●					
	N-4	25%		●								LOCK INOPERABLE	
	N-5	100%								●		WINDOW HAS BEEN REPLACED	
	N-6	100%		●			●						
	N-7	50%					●						
	N-10	0%			●		●					2 LITES TO REPAIR	
	N-11	40%											
	N-12	0%										GAP AT SASH AND HEAD	
	N-13	0%			●		●					2 LITES TO REPLACE	
	N-14	-										LARGE GAP BETWEEN SASH AND JAMB	
	EAST ELEV.	E-1	100%								●		
		E-2	60%			●	●					●	CONSIDER REPLACEMENT
E-3		40%		●	●							CONSIDER REPLACEMENT	
E-4		50%					●						
E-5		50%			●								
E-6		100%								●		CONSIDER REPLACEMENT	
E-7		100%			●								
E-8		100%		●									
E-9		100%		●									
E-10		-		●						●		LOCKED - NO OPERATION	
E-11		-										LOCKED	
E-12		50%										NEW SASH	
E-13		-					●					PERMANENTLY LOCKED	
E-14		50%			●							CHECK FOR LEAD PAINT BETWEEN WINDOW AND STORM	
E-16		100%		●			●						
E-17		100%		●			●						
E-18	100%		●			●							
E-19	-												
E-20	-		●								UPPER SASH NOT TIGHT WITH HEADER		

WINDOW NOTES:

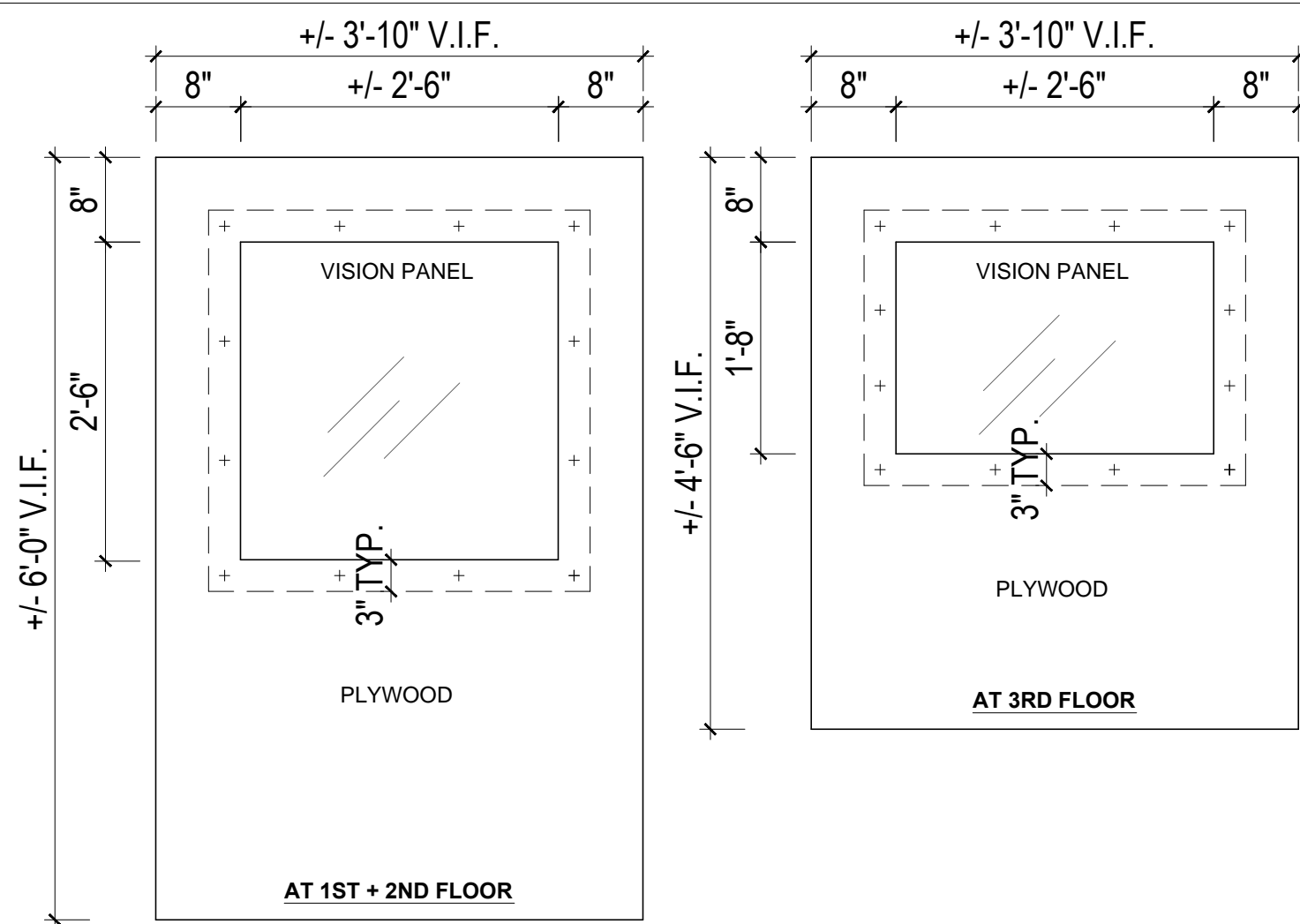
1. WINDOW SIZES GIVEN ARE APPROXIMATE. FIELD MEASUREMENTS MUST BE TAKEN AND VERIFIED FOR EACH OPENING BY CONTRACTOR BEFORE REPAIR OR REPLACEMENT.
 2. IT IS ASSUMED THAT - DUE TO THE AGE OF THE BUILDING - THE PAINT ON THE WOODWORK, TRIM, AND ALL METAL SURFACES CONTAIN REGULATED LEVELS OF LEAD PAINT. DUE TO THE PRESENCE OF LEAD PAINT, IT IS THE INTENT TO FOLLOW PROCEDURES THAT LIMIT THE DISTURBANCE OF PAINT SURFACES AND MATERIALS IN ORDER TO MINIMIZE THE LIKELIHOOD OF BECOMING AIRBORNE AND PREVENT/REDUCE THE ACCUMULATION OF LEAD DUST.
 3. WHEN REPLACING GLAZING PUTTY, REMOVE OLD PUTTY, PRIME BARE WOOD WITH LINSEED OIL, ROLL POSITION AND SMOOTH GLAZING PUTTY. REINSTALL SASH, ALLOW ONE WEEK MINIMUM FOR GLAZING PUTTY TO DRY BEFORE PAINTING.
 4. ALL WINDOWS ARE TO OPERATE SMOOTHLY AT COMPLETION OF WORK. SASHES THAT DO NOT OPERATE OR ARE PAINTED SHUT SHALL BE FREED AND MADE TO OPERATE SMOOTHLY. THIS INCLUDES REPLACEMENT OF ALL SASH ROPE AND ATTACHMENT OF ROPE TO SASHES AND WEIGHTS.
 5. REPLACE CRACKED OR BROKEN GLASS PANES WITH 1/8" CLEAR GLASS THAT IS 1/8" SMALLER IN LENGTH AND WIDTH THAN THE OPENING. USE EIGHT GLAZERS' POINTS FOR PANE AND LINSEED OIL-BASED GLAZING PUTTY WITH AT LEAST TWO POINTS PER SIDE.
 6. ALL LOOSE, MISSING, AND SEVERELY DAMAGED CRACKED PUTTY IS TO BE REPLACED. WHEN REPLACING GLAZING PUTTY, REMOVE OLD PUTTY, PRIME BARE WOOD WITH LINSEED OIL, APPLY SETTING BED OF GLAZING PUTTY, INSTALL GLASS AND GLAZING POINTS, ROLL POSITION, AND SMOOTH GLAZING PUTTY. REINSTALL SASH AND ALLOW ONE WEEK MINIMUM FOR GLAZING PUTTY TO DRY BEFORE PAINTING SASH.
 7. ALL SPLIT WOOD IS TO BE RE-GLUED WITH EPOXY GLUE.
 8. ALL REPAIRED WINDOWS SHALL BE PAINTED.

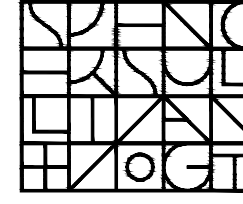
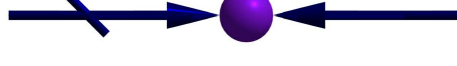

REFER TO A-102 FOR WINDOW LOCATIONS

[illegible]

TEMPORARY PATCH NOTES:

1. FABRICATE PATCH FROM ONE UN-SPliced SHEET OF 3/4" THICK TYPE C-DX PLYWOOD.
2. PRE-PAINT WITH 1 PRIME COAT AND 1 FINISH COAT OF WHITE LATEX EXTERIOR PAINT BEFORE INSTALLING VISION PANEL.
3. VISION PANEL SHALL BE 1 PIECE OF 1/8" THICK CLEAR POLYCARBONATE RESIN SHEET.
4. BED VISION PANEL TO PLYWOOD WITH CONTINUOUS BEAD OR CLEAR SILICONE CAULK CENTERED IN 3" OVERLAP OF VISION PANEL.
5. SCREWS FOR FASTENING VISION PANEL TO PLYWOOD SHALL BE ALUMINUM PAN HEAD.
6. EDGE CONDITION AND DETAIL FOR FASTENING TO FRAME BY G.C.
7. FABRICATE 3 OF EACH PATCH TYPE, THEREFORE LIMITING REMOVED SASH TO 6 AT ANY ONE TIME.



ARCHITECT:	
	
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1 Thompson Square Suite 504 Charlestown, MA 02129-3308 T: (617) 861-4291 www.SSVarchitects.com	
Andrew Jerome Cannata, AIA <i>Architect</i> 5 Upland Avenue Boston, Massachusetts 02124-2132 Telephone: (617) 436-4962 AJC@cannata@verizon.net	
CONSULTANT:	
	
MacLeod Consulting, Inc. 29 Woods Road Belmont, MA 02478 Telephone: (617) 484-4733 www.MacLeod-Consulting.com	
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Town of Arlington 730 Massachusetts Avenue Arlington, MA 02476-4906	
PROJECT:	#1928.00
WHITTEMORE-ROBBINS ESTATE REHABILITATION OF THREE BUILDINGS MANSION EXTERIOR REHABILITATION	
670R Massachusetts Avenue Arlington, MA 02476	
KEY:	
00	Xxx. 00, 0000
#	DATE
ISSUANCES:	DESCRIPTION
SEAL:	
SHEET TITLE: MANSION - WINDOWS	
SHEET #: A-103	



1 EXISTING ELEVATION: NORTH
1/4" = 1'-0"



2 EXISTING ELEVATION: EAST
1/4" = 1'-0"

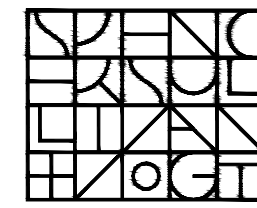


3 EXISTING ELEVATION: SOUTH
1/4" = 1'-0"



4 EXISTING ELEVATION: WEST
1/4" = 1'-0"

ARCHITECT:



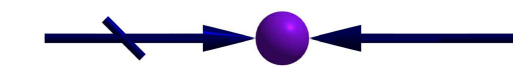
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Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
EXTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00	Xxx. 00, 0000	DESCRIPTION
#	DATE	DESCRIPTION

ISSUANCES:

SEAL:

SHEET TITLE:
**COTTAGE - EXISTING
EXTERIOR ELEVATIONS**

SHEET #:

A-200

GERENAL NOTE:

1. PAINT ALL SIDING, GUTTERS, AND TRIM
2. REPOINT FIELDSTONE FOUNDATION WALL; ALLOW 50FT
3. WINDOW SHASHES SHALL NOT BE REPAINTED



REMOVE & REPLACE ROTTING CORNERBOARD



NAIL LIFTING SHINGLES DOWN AND PAINT AS NECESSARY

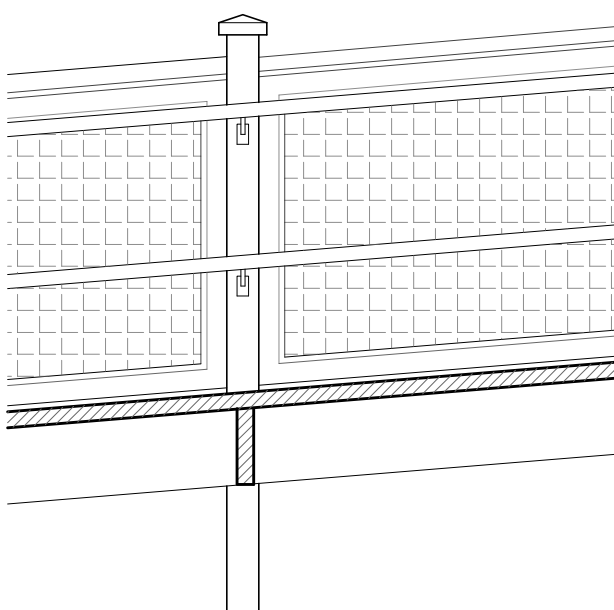
CEDAR SHINGLES

METAL-LINED WOOD GUTTER WITH DOWNSPOUT EXITING TO PLANTING BED BELOW

PRIVACY SHUTTER ON INSIDE OF MEN'S TOILET WINDOW

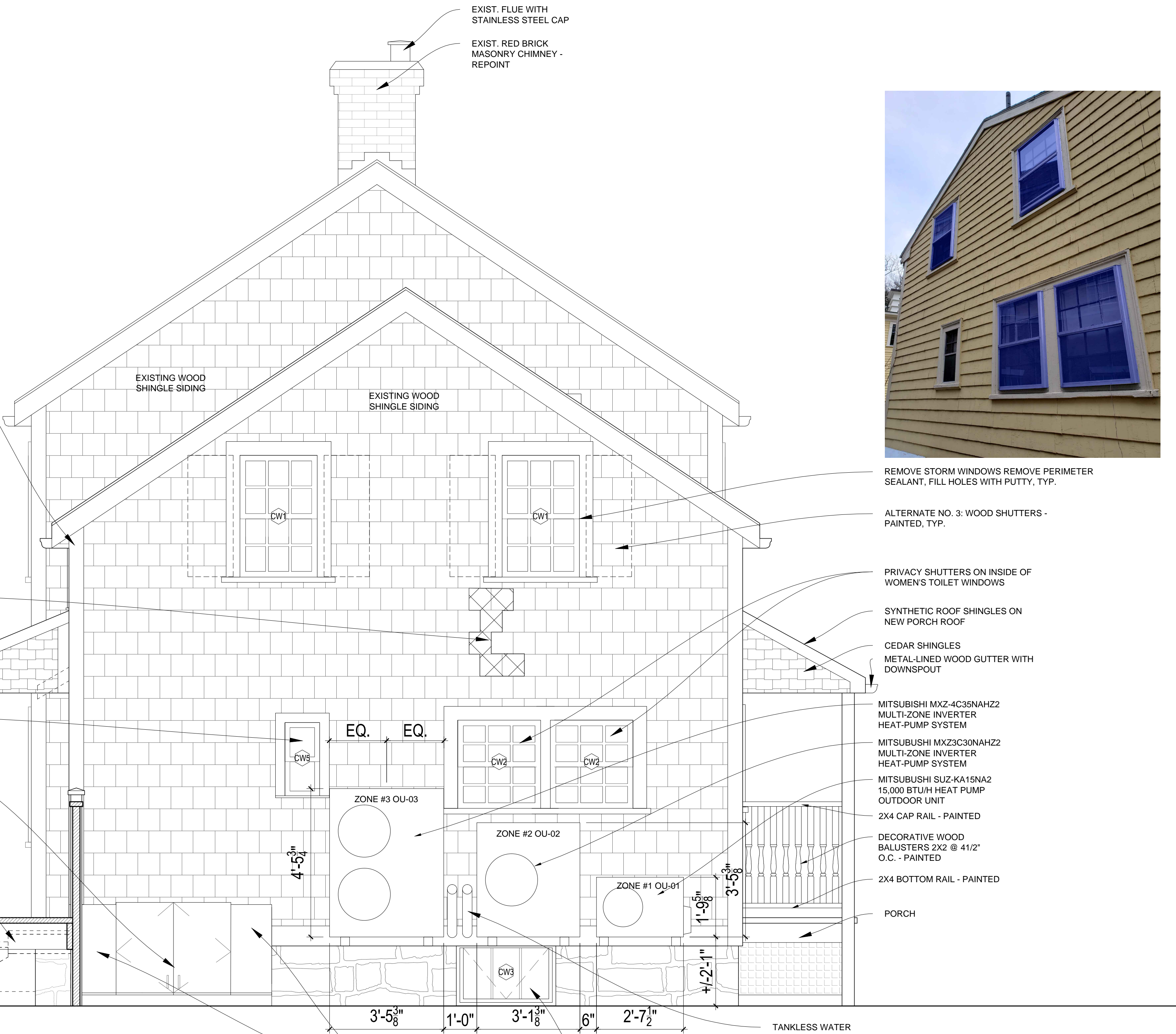
REMOVE PLYWOOD COVERING BHD, ACCESS CONDITION

REMOVE EXISTING WOOD STAIR AND LANDING



1 SOUTH ELEVATION

1/2" = 1'-0"

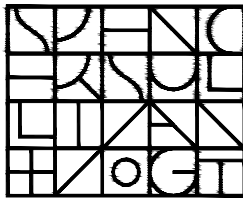


STEEL FOUNDATION PLATE EACH SIDE OF DOOR

REMOVE & REPLACE BASEMENT WINDOW



ARCHITECT:



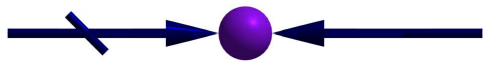
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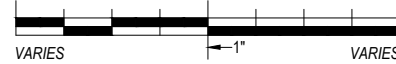
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
EXTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00 Xxx. 00, 0000 DESCRIPTION

DATE DESCRIPTION

ISSUANCES:

SEAL:

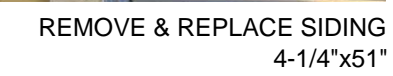
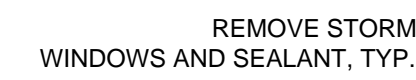
SHEET TITLE:

COTTAGE - EXTERIOR -
SOUTH ELEVATION

SHEET #:

A-202

1. PAINT ALL SIDING, GUTTERS, AND TRIM
2. REPOINT FIELDSTONE FOUNDATION WALL; ALLOW 50FT
3. WINDOW SHASHES SHALL NOT BE REPAINTED



ALTERNATE NO. 3: WOOD SHUTTERS -
PAINTED, TYP.

REMOVE EXIST. CATV BOX



REMOVE & REPLACE BASEMENT WINDOW

1 WEST ELEVATION
1/2" = 1'-0"

EXIST. FLUE WITH
STAINLESS STEEL CAP

EXIST. RED BRICK
MASONRY CHIMNEY -
REPOINT

- REMOVE & REPLACE GUTTERS

- SYNTHETIC ROOF SHINGLES

— COPPER FLASHING

- REMOVE LIGHT FIXTURE OVER DOOR

- REMOVE EXISTING BATHROOM VENT OUTLET ON EXISTING WALL AND PATCH OPENING WITH PLYWOOD SHEATHING

— SNOW GAURDS

— METAL-LINED WOOD GUTTER - PAINTED

- PRIVACY SHUTTER ON INSIDE OF MEN'S TOILET WINDOW
- DECORATIVE WOOD BALUSTERS 2X2 @ 4 $\frac{1}{2}$ " O.C. - PAINTED



- REMOVE BOARDED OVER WINDOW AND INSTALL 6" CMU.

STEEL BASEMENT DOOR BEYOND - PAINTED

WOOD BOARD PRIVACY FENCE

STEEL PIPEHANDRAIL

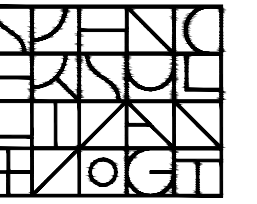
- RUN DOWNSPOUT INTO PLANTING BED AREA

REMOVE EXIST.
MAILBOX

- 2X2 TOP RAIL - PAINTED
- 2X2 BOTTOM RAIL - PAINTED

2X2 BOTTOM RAIL -
PAINTED

ARCHITECT:



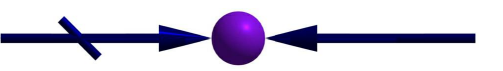
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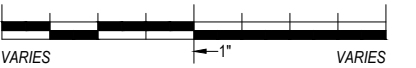
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Arlington, MA 02476-4906

PROJECT:	#1928.00
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WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
EXTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:

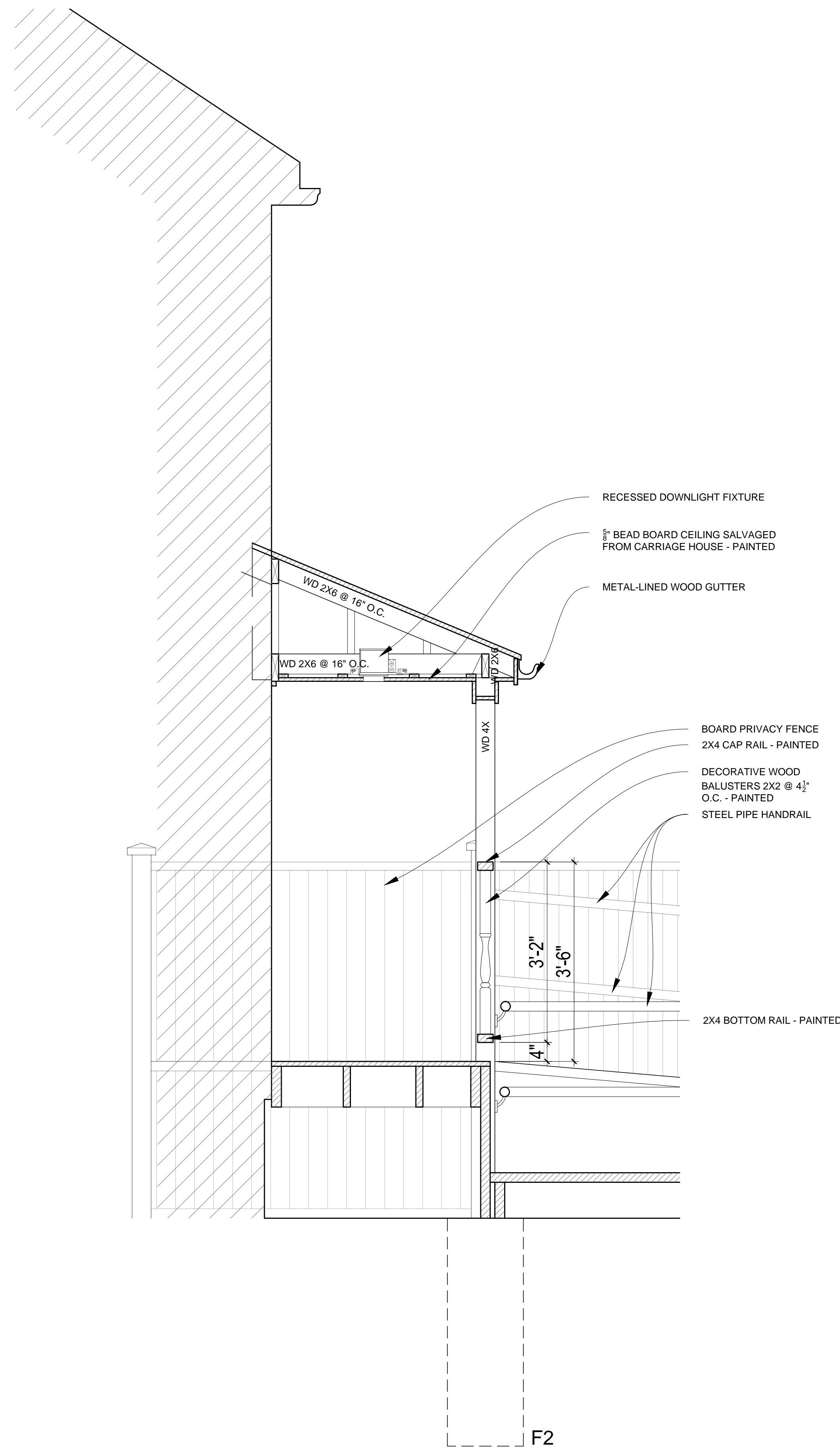


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#	DATE	DESCRIPTION
ISSUANCES:		
SEAL:		

SHEET TITLE:
COTTAGE - EXTERIOR -
WEST ELEVATION

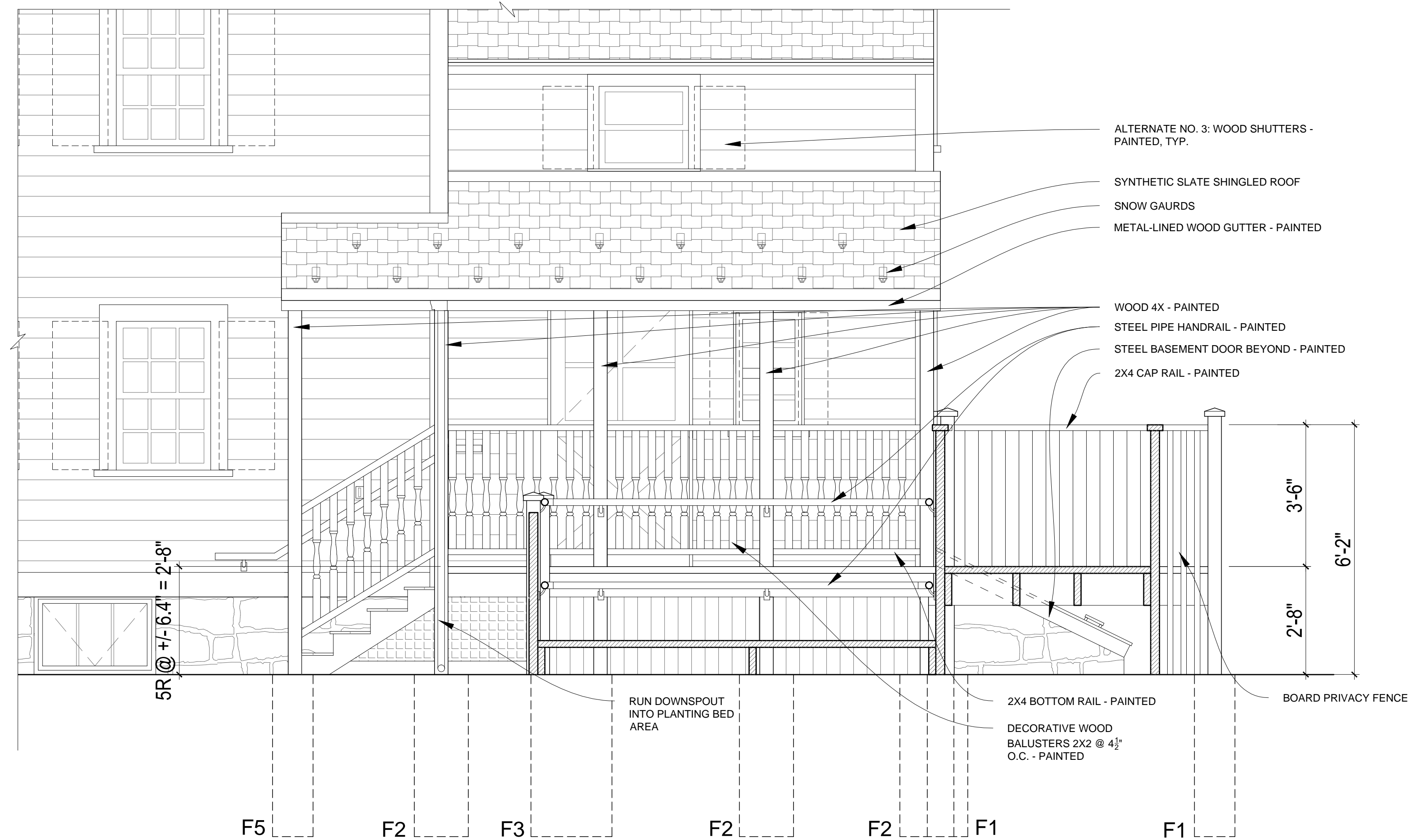
SHEET #:

A-204



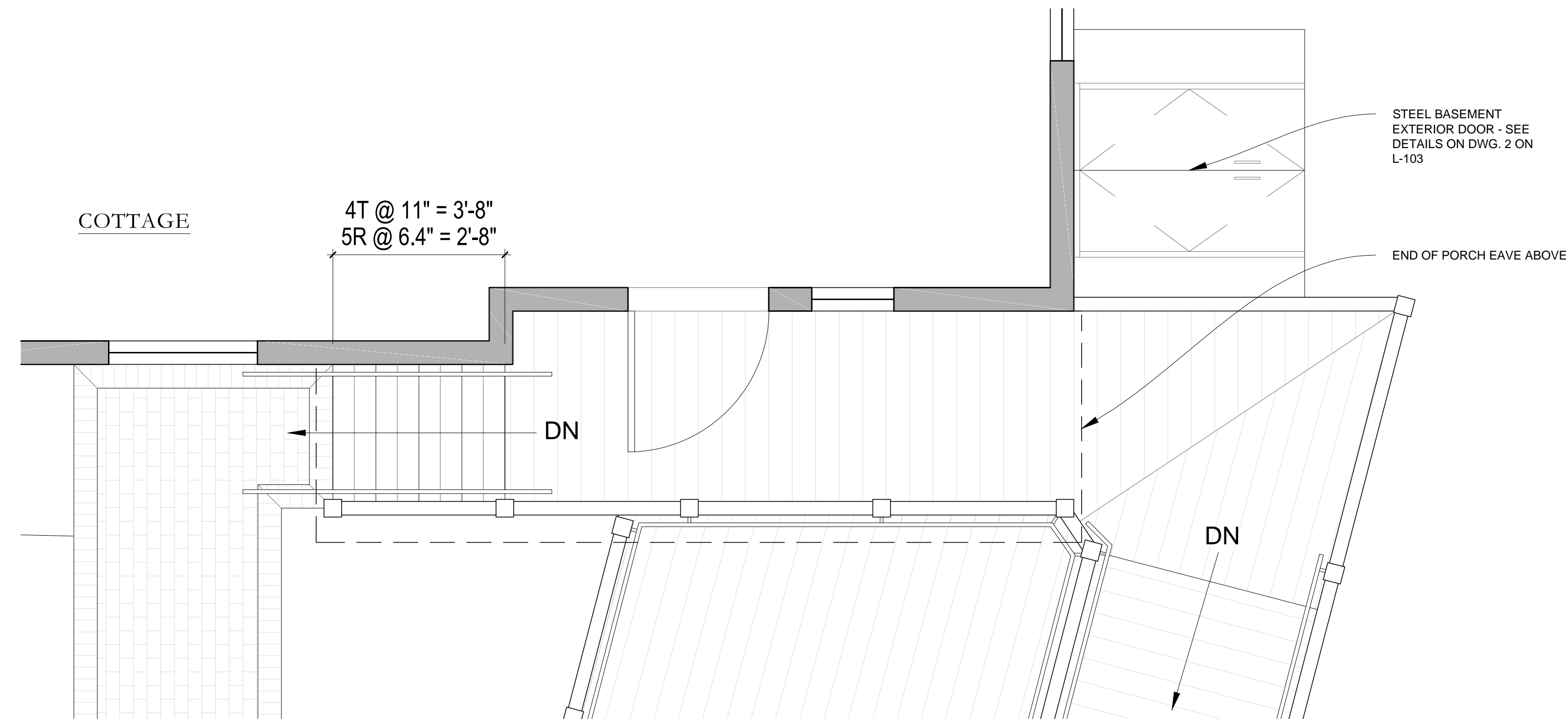
1 SECTION THROUGH PORCH

3/4" = 1'-0"



2 PORCH ELEVATION

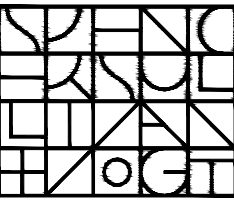
1/2" = 1'-0"



3 PORCH PLAN

1/2" = 1'-0"

ARCHITECT:



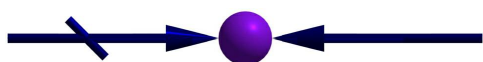
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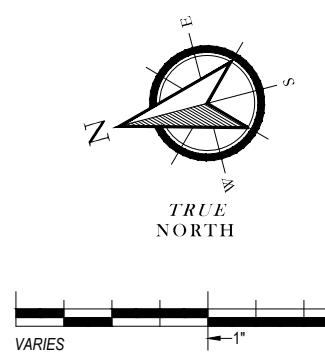
PROJECT:

#1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
EXTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



#	DATE	DESCRIPTION
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ISSUANCES:

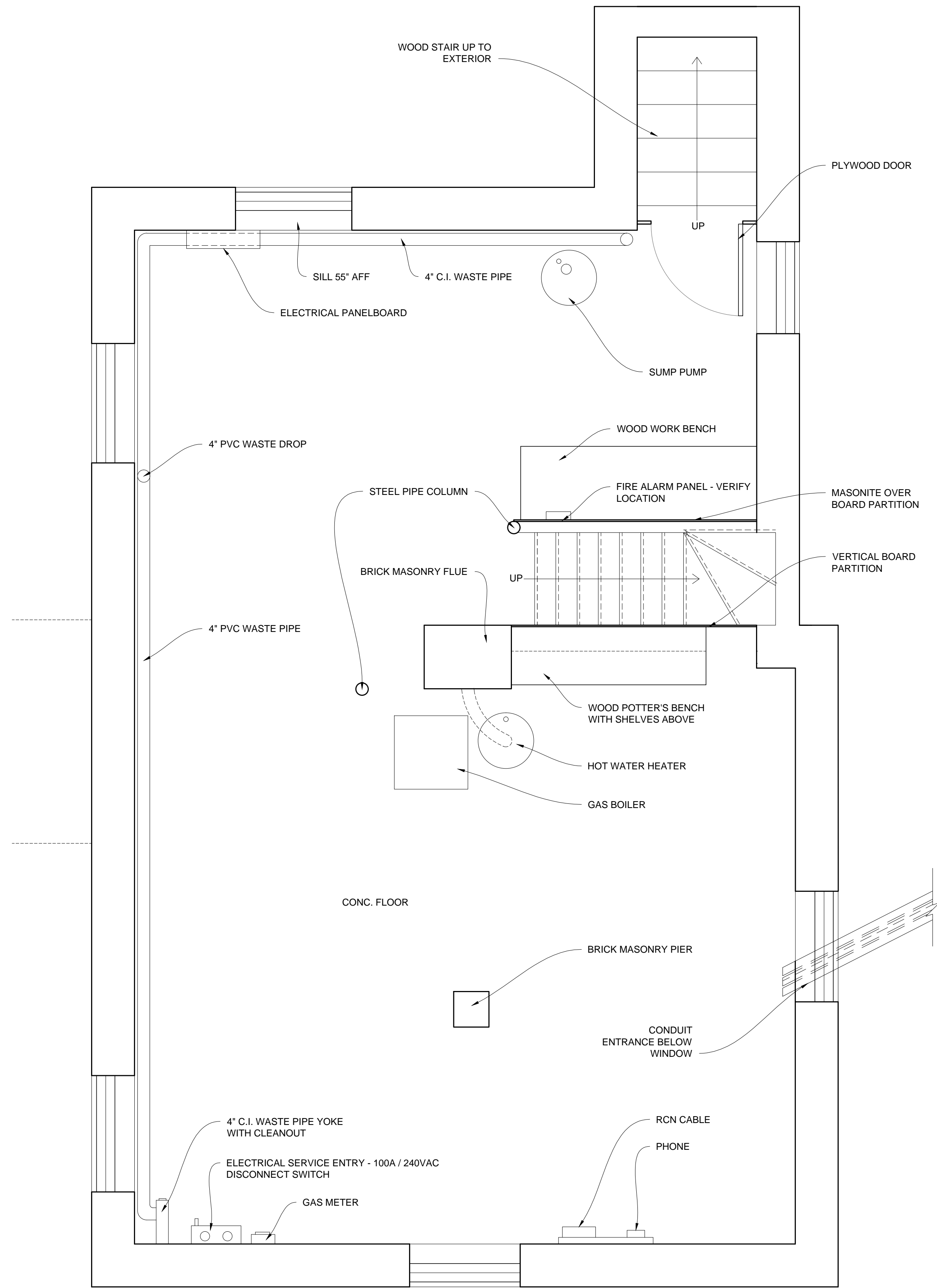
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SHEET TITLE:

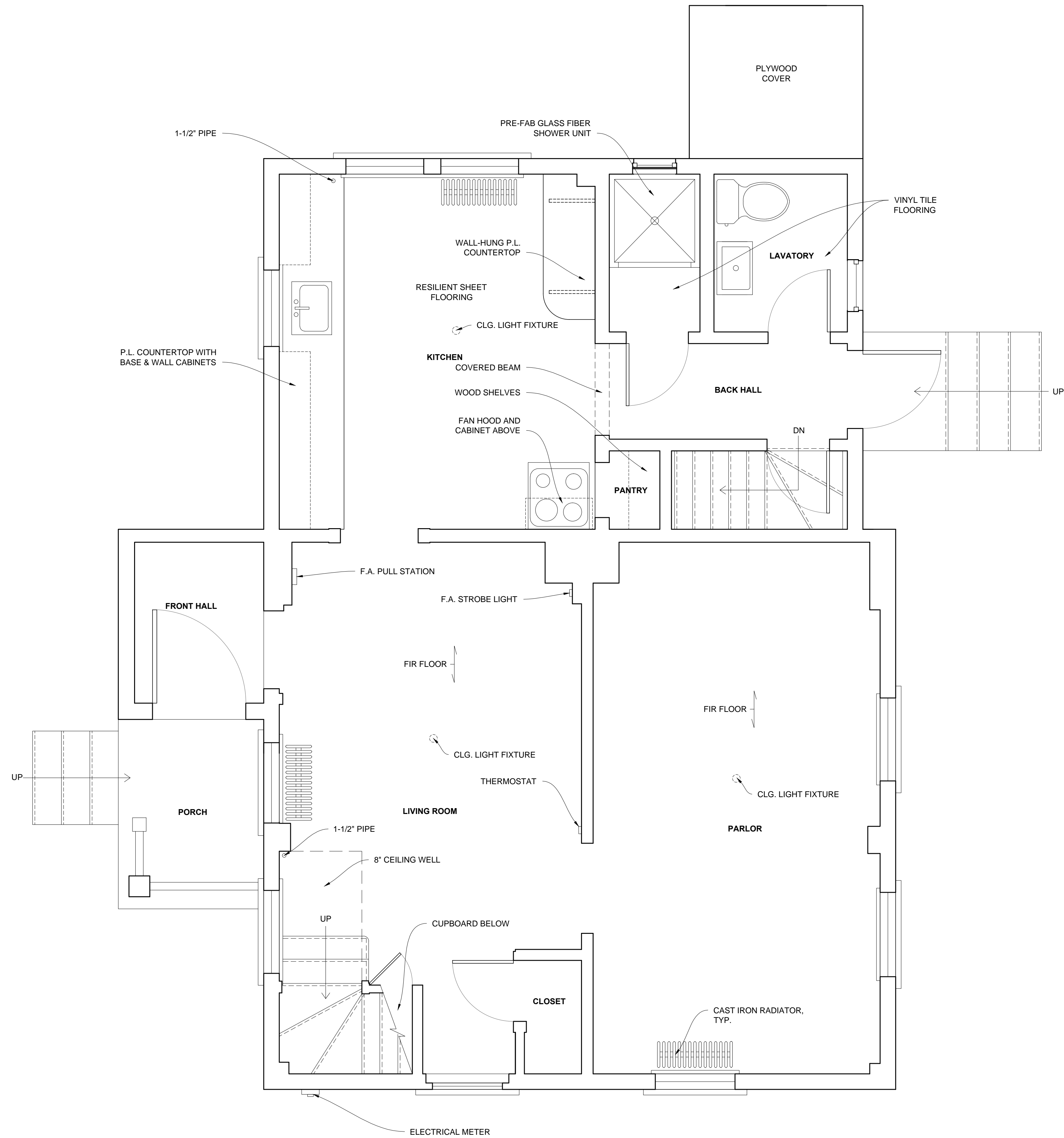
**COTTAGE - ENTRANCE
PORCH**

SHEET #:

A-205

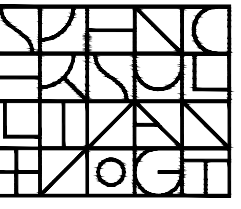


1 EXISTING BASEMENT PLAN
1/2" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
1/2" = 1'-0"

ARCHITECT:




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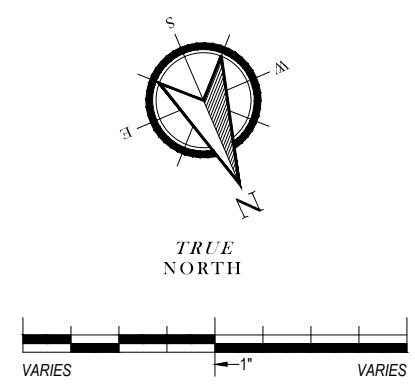
Town of Arlington
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PROJECT: #1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



TRUE NORTH

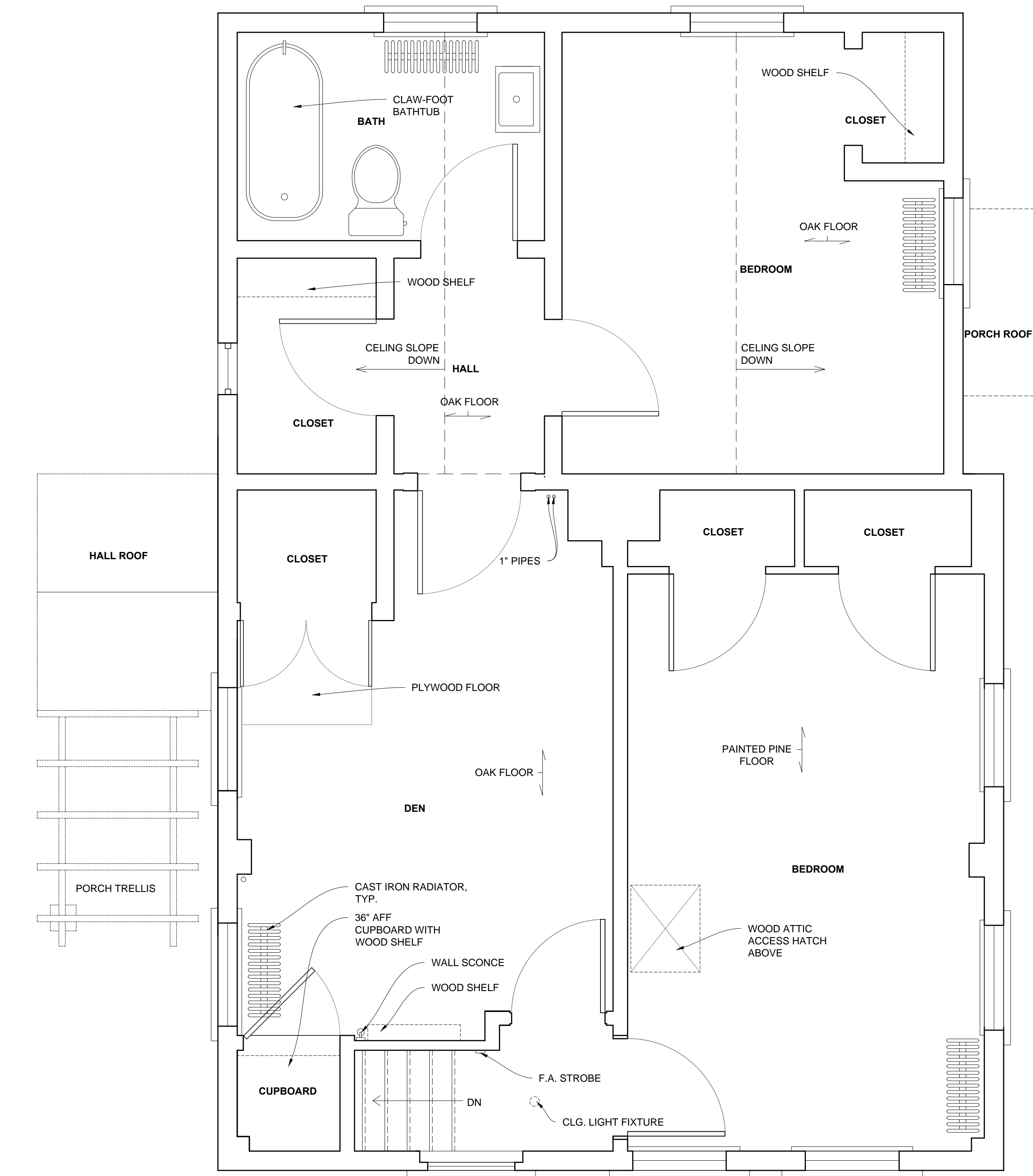
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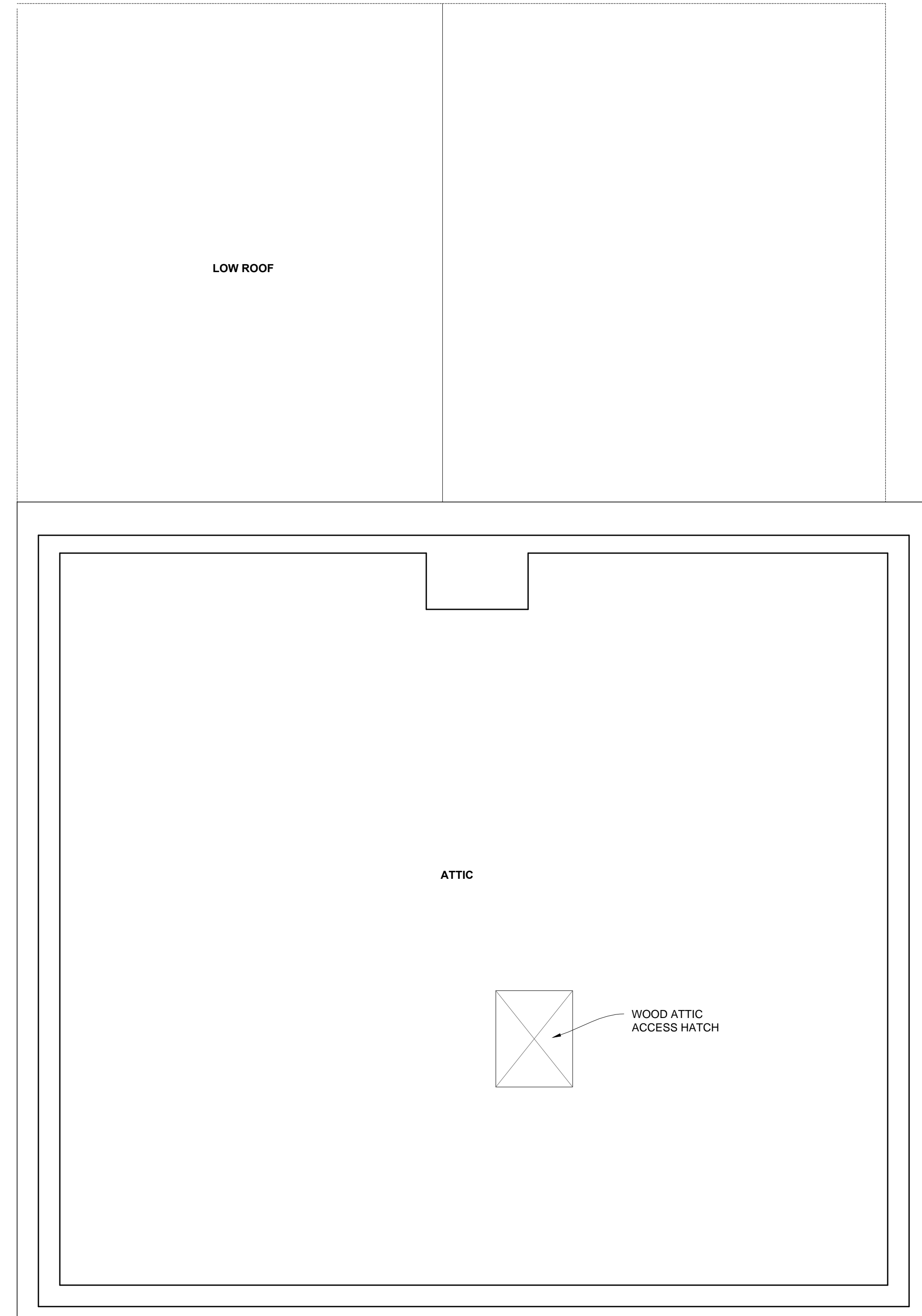
SEAL:

SHEET TITLE:
**COTTAGE - EXISTING
BASEMENT & FIRST FLOOR
PLANS**

SHEET #:
A-206

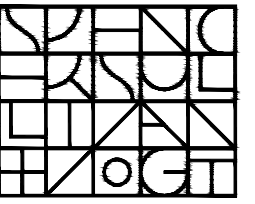


1 EXISTING SECOND FLOOR PLAN
1/2" = 1'-0"



2 EXISTING ATTIC PLAN
1/2" = 1'-0"

ARCHITECT:



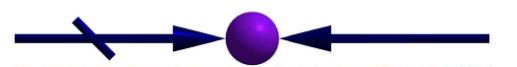
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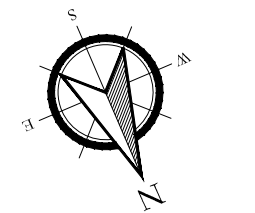
Town of Arlington
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PROJECT: #1928.00

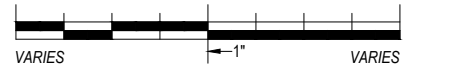
WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



TRUE
NORTH



#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:

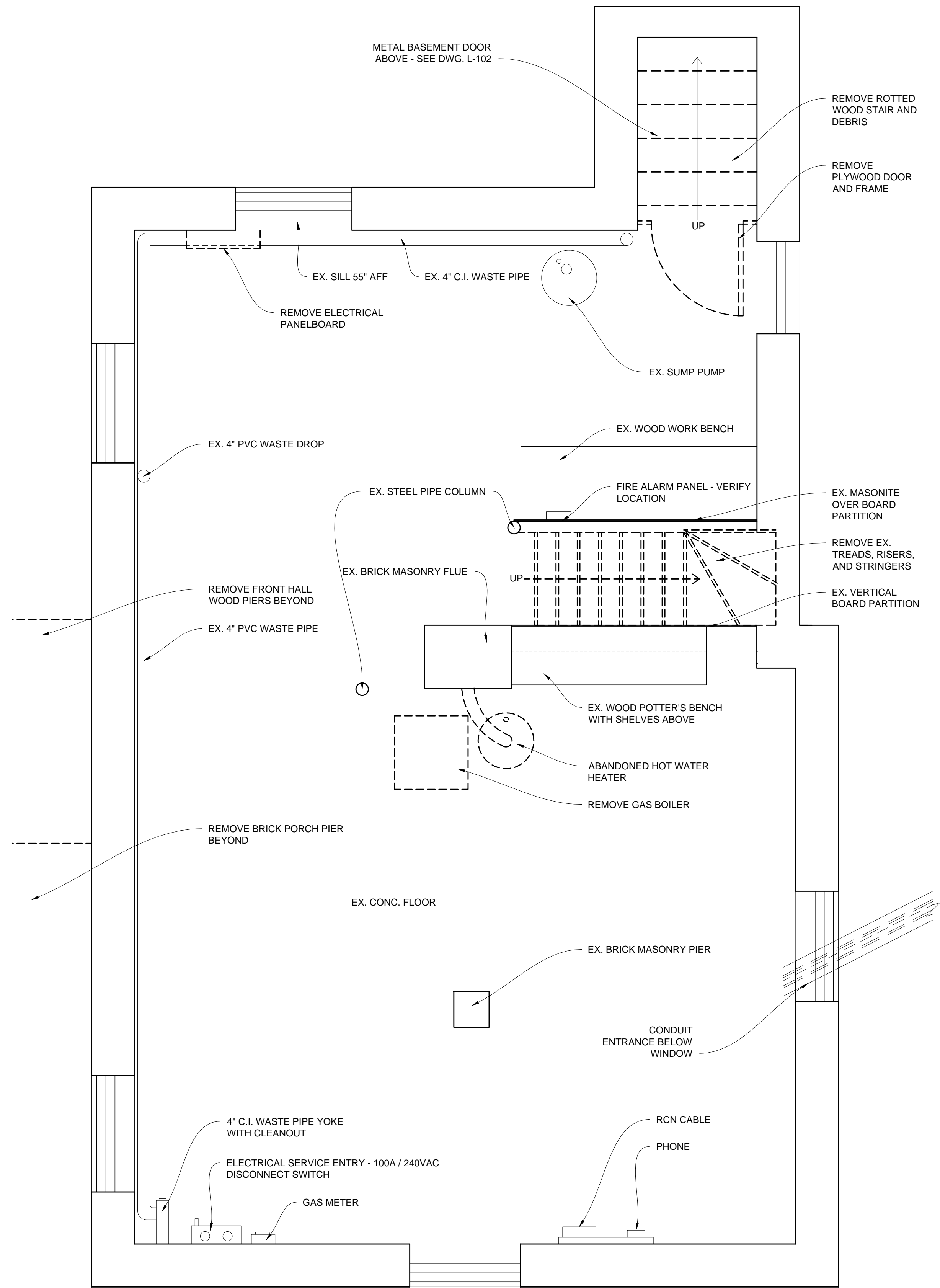
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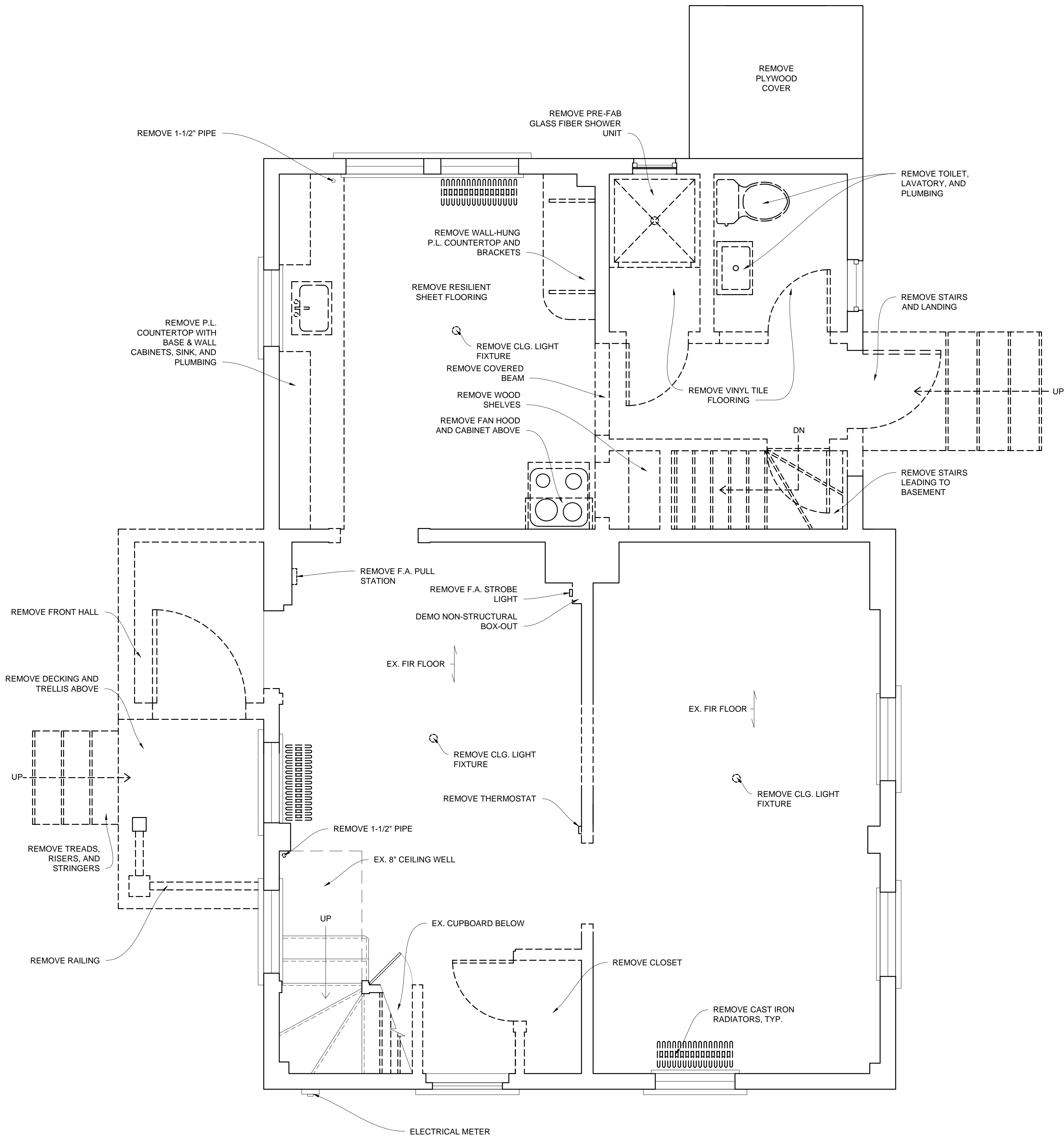
COTTAGE - EXISTING
SECOND & ATTIC FLOOR
PLANS

SHEET #:

A-207

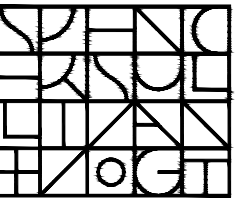


1 DEMO BASEMENT PLAN
1/2" = 1'-0"



2 DEMO FIRST FLOOR PLAN
1/2" = 1'-0"

ARCHITECT:




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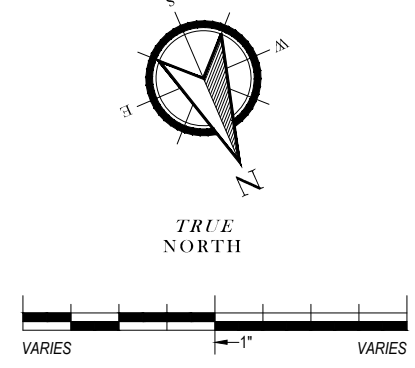
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



TRUE NORTH
VARIES 1" = 1'-0" VARIES

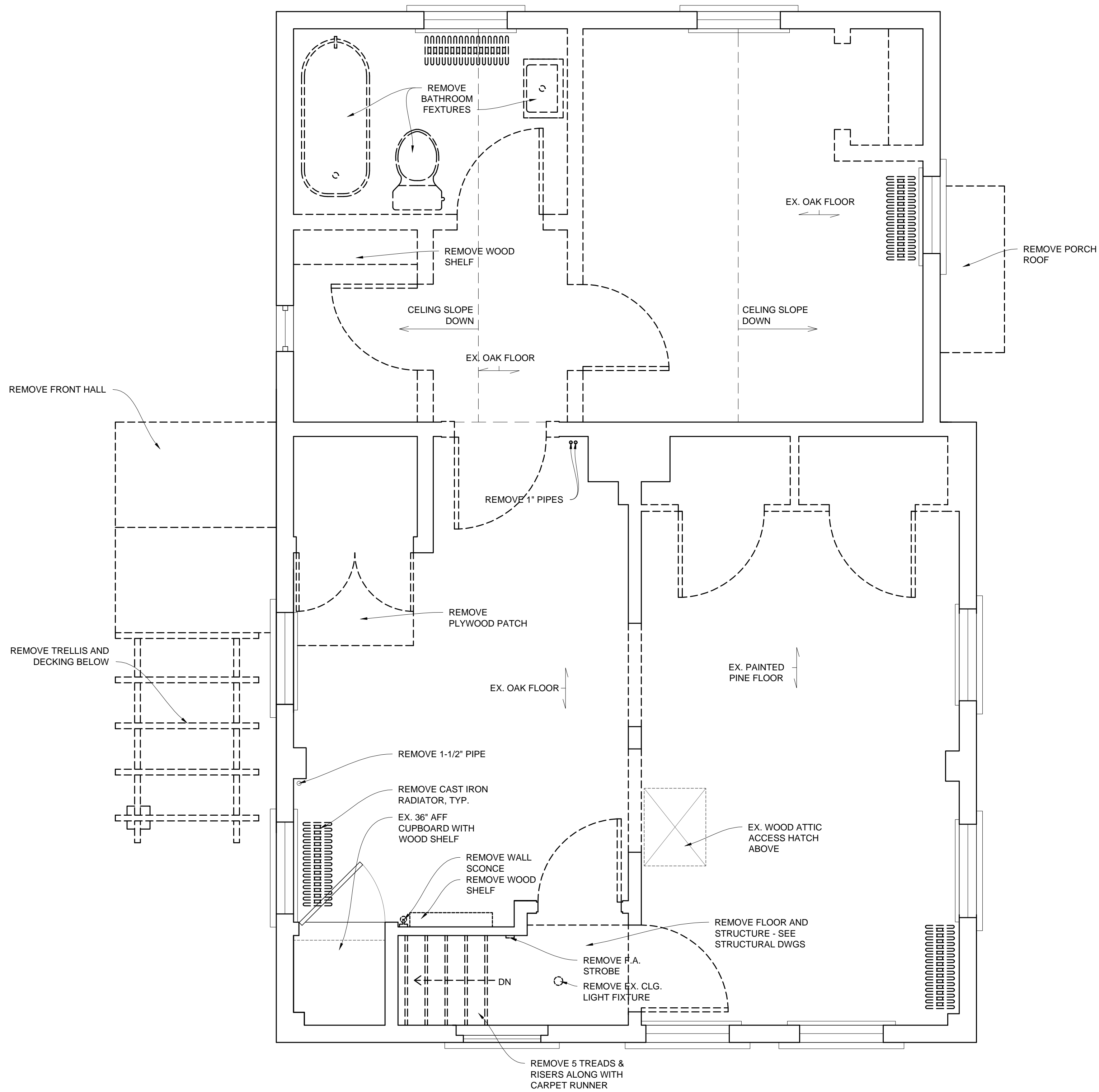
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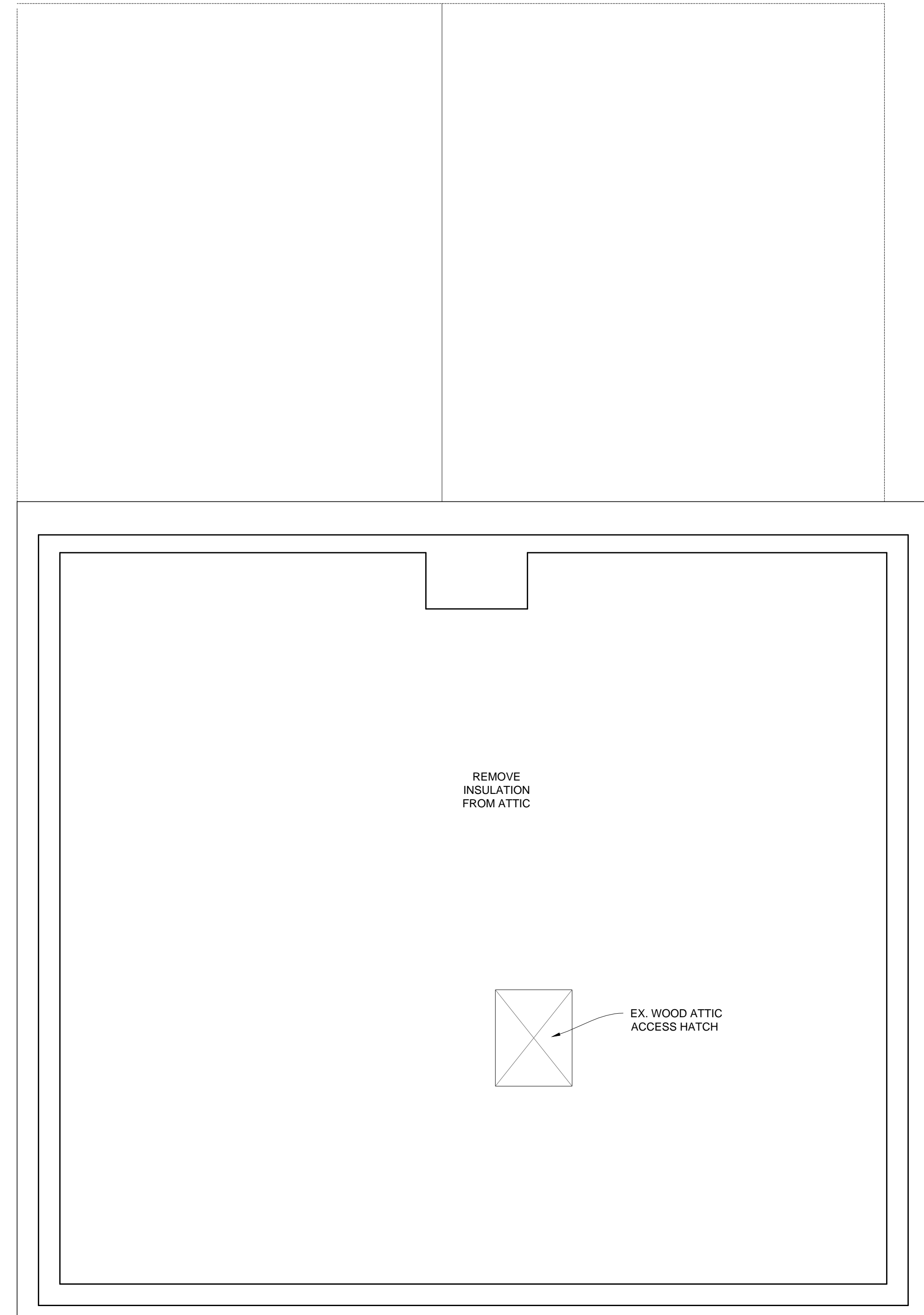
SEAL:

SHEET TITLE:
**COTTAGE - BASEMENT &
FIRST DEMO PLANS**

SHEET #:
A-208



1 DEMO SECOND FLOOR PLAN
1/2" = 1'-0"



2 DEMO ATTIC PLAN
1/2" = 1'-0"

ARCHITECT:



Spencer, Sullivan & Vogt
ARCHITECTURE • PRESERVATION

1 Thompson Square | Suite 504
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www.SSVarchitects.com

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CONSULTANT:



MacLeod Consulting, Inc.

29 Woods Road
Belmont, MA 02478
Telephone: (617) 484-4733
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OWNER:

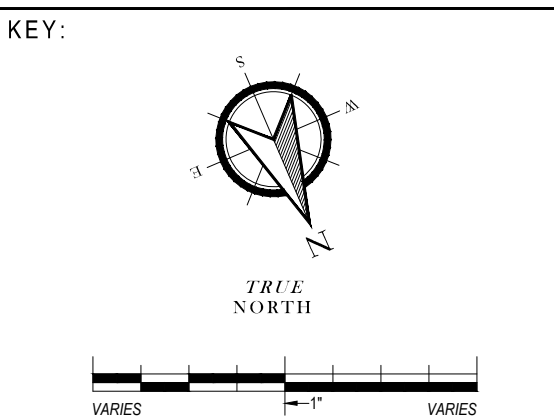


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670R Massachusetts Avenue
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SEAL:		

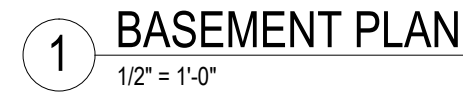
SHEET TITLE:
**COTTAGE - SECOND &
ATTIC DEMO PLANS**

SHEET #:
A-209

1. ALL THE EQUIPMENT INCLUDING CU-01 , SHEET METAL PLENUMS, AND FLEX-DUCT SHALL BE MOUNTED TIGHT TO UNDERSIDE OF FLOOR JOISTS

2. TOP OF SUPPLY REGISTERS AND RETURN AIR GRILLES SHALL BE FLUSH WITH FLOOR SURFACE

1. ALL WALLS, PARTITIONS, CEILINGS, DOORS, WINDOWS, AND TRIM SHALL BE PAINTED



4 3/4" V.I.F.

VENEER PLASTER
5/8" REGULAR GYPSUM - EACH SIDE
EXISTING OR ADDED WOOD STUD

(A) PARTITION TYPE "A" A₁ ACoust. INSULATION + MOISTURE RESISTANT
3" = 1'-0"

5 3/4" V.I.F.

VENEER PLASTER
5/8" REGULAR GYPSUM - EACH SIDE
1/2" SOUND DAMPENING GYPSUM PANELS
EXISTING OR ADDED WOOD STUD
ACOUSTICAL BATT INSULATION

(B) PARTITION TYPE "B" AT ALL INTERIOR PARTITIONS ABUTTING OFFICES
3" = 1'-0"

6" V.I.F.

VENEER PLASTER
5/8" REGULAR GYPSUM BOARD
EXISTING OR ADDED WOOD STUD
SPRAY-ON INSULATION
EXISTING BOARD SHEATHING
EXISTING WOOD CLAPBOARD

(C) ALL EXTERIOR WALLS "C"
3" = 1'-0"

TOILET ROOM ACCESSORIES SCHED.		
NO.	ITEM	MOUNTING HEIGHT
T1	TOILET PAPER HOLDER	24"
T2	GRAB BAR	33" TO TOP
T3	SOAP DISPENSER	51" TO TOP
T4	BABY CHANGING TABLE	24" TO OPEN TABLE TOP
T5	SANITARY NAPKIN DISPOSAL	30" TO TOP
T6	MIRROR	3'-3" TO BOTTOM



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The seal of the Town of Arlington, Massachusetts, is a circular emblem. It features a central shield depicting a landscape with a body of water, a small boat, and a large tree. Above the shield is a crest with a figure holding a bow. The shield is surrounded by a circular border containing the text "TOWN OF ARLINGTON" at the top and "MASSACHUSETTS" at the bottom. A ribbon draped across the shield contains the motto "PROSPERITATI SIT FORTIS".

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WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
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INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

TRUE
NORTH

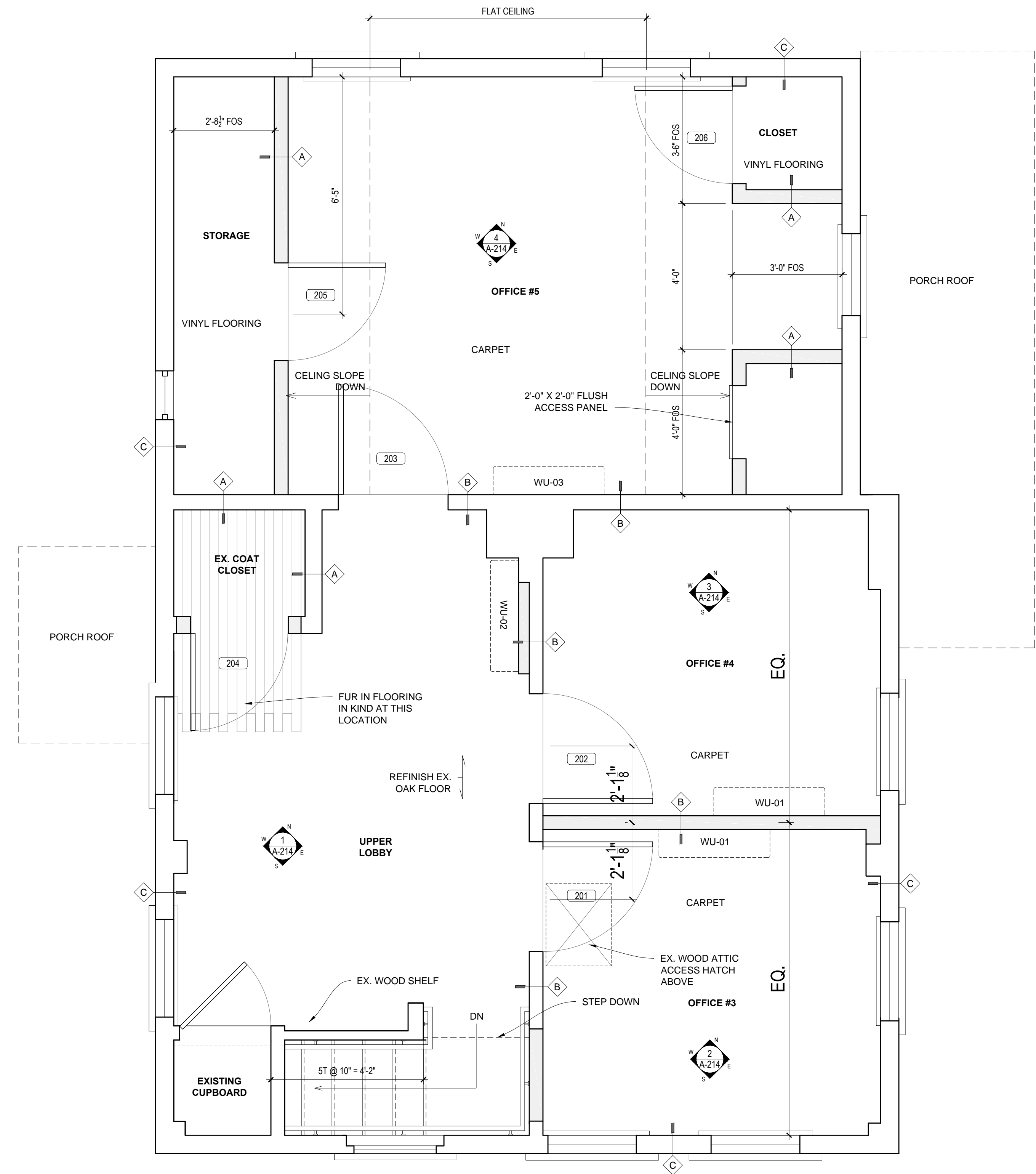
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SEAL.

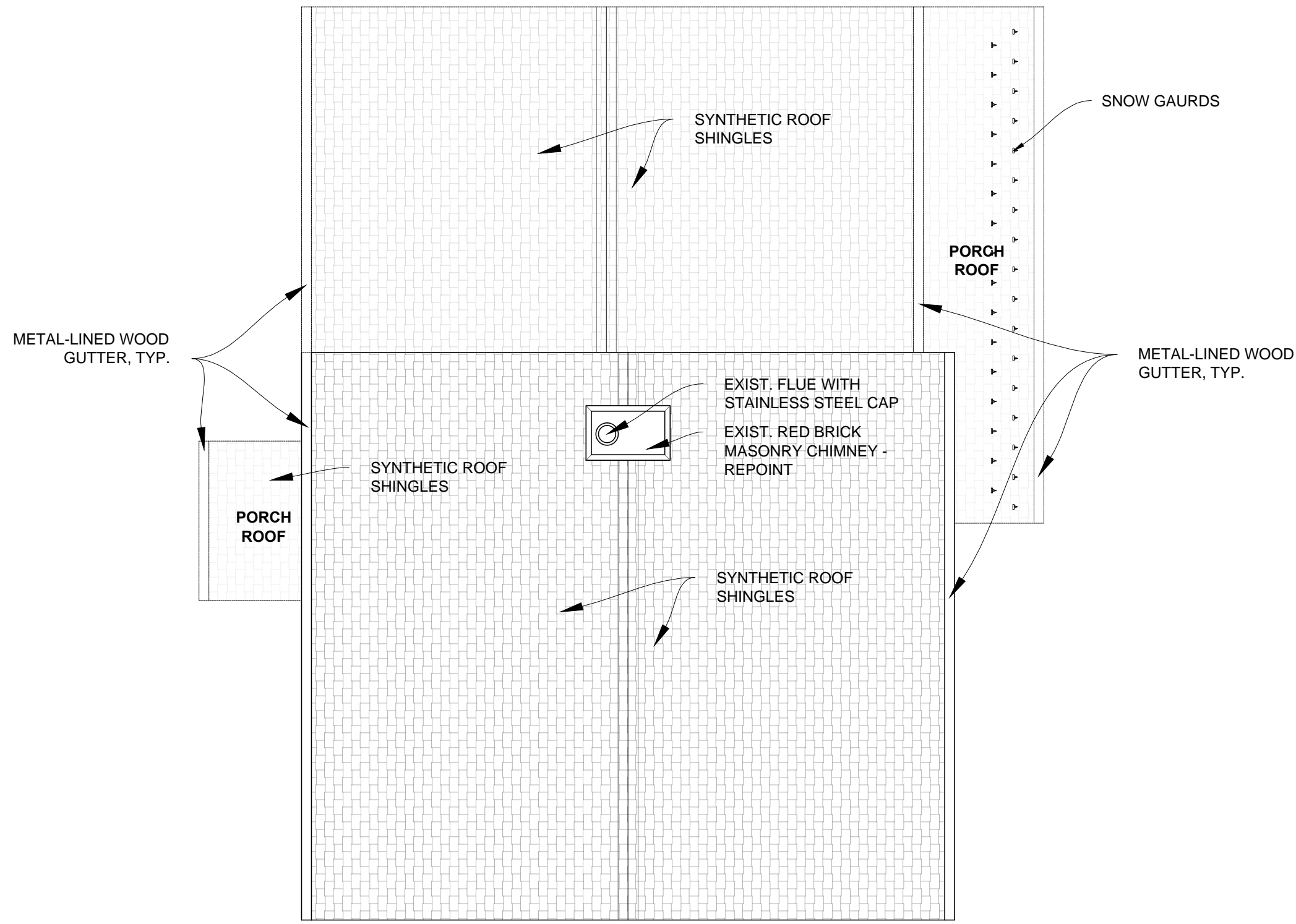
COTTAGE - BASEMENT & FIRST FLOOR PLANS

A-210

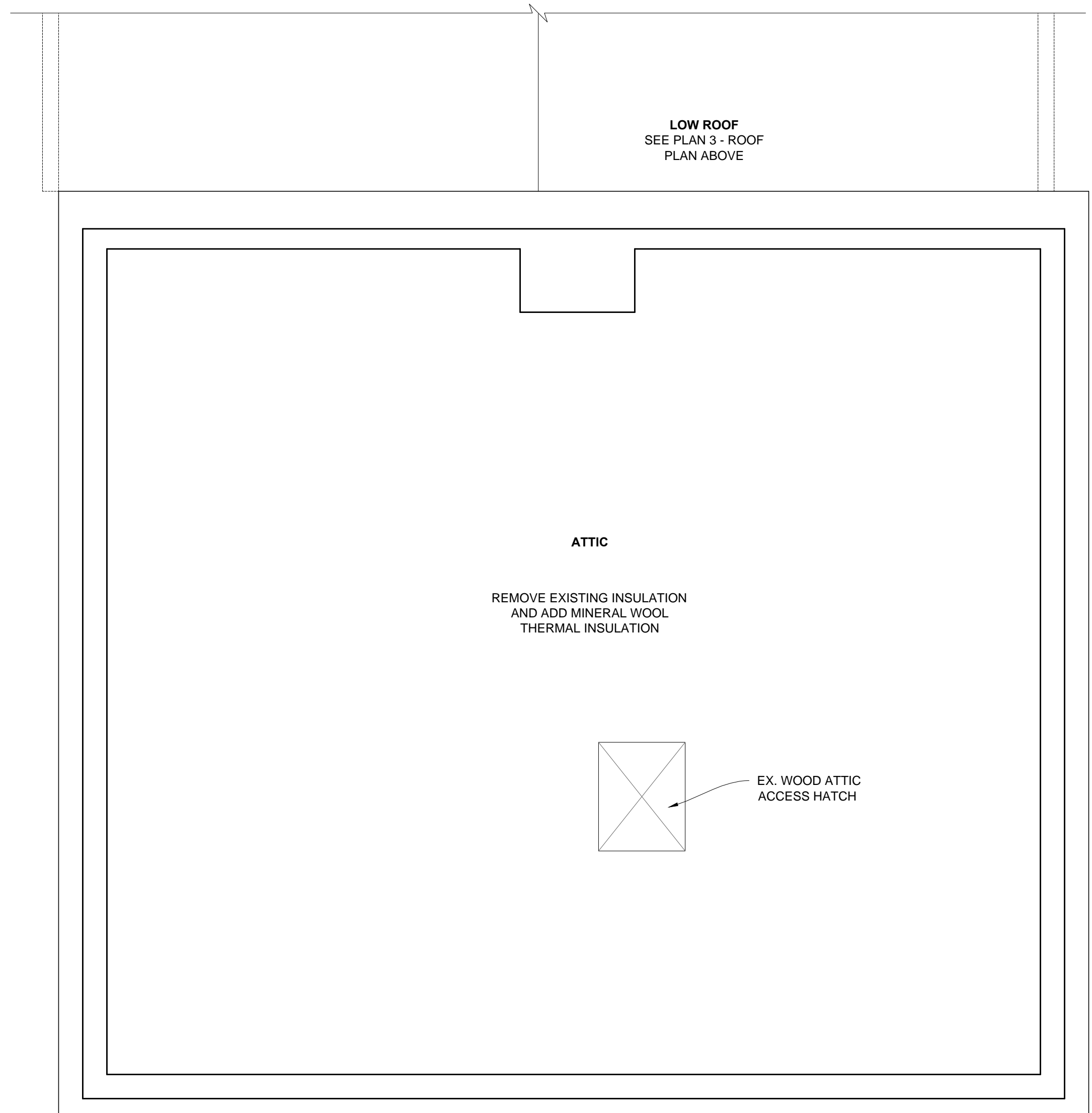
PAINTING NOTE:
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1 SECOND FLOOR PLAN
1/2" = 1'-0"



3 ROOF PLAN
1/4" = 1'-0"



2 ATTIC PLAN
1/2" = 1'-0"

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PROJECT: #1928.00

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ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
INTERIOR REHABILITATION

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Arlington, MA 02476

KEY:

TRUE NORTH

VARIES 1" VARIES

#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:

SEAL:

SHEET TITLE:

COTTAGE - SECOND & ATTIC FLOOR PLANS & ROOF PLAN

SHEET #:

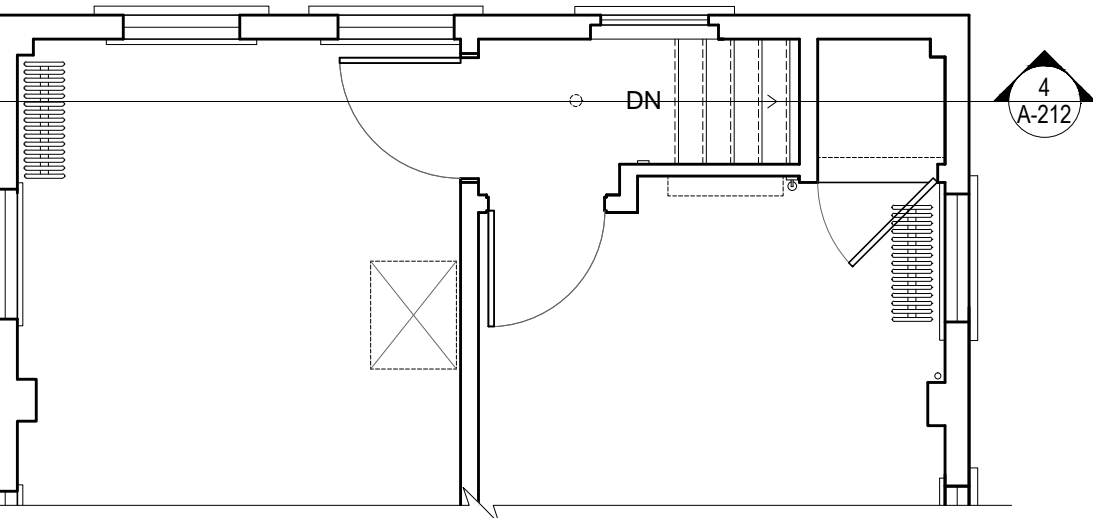
A-211



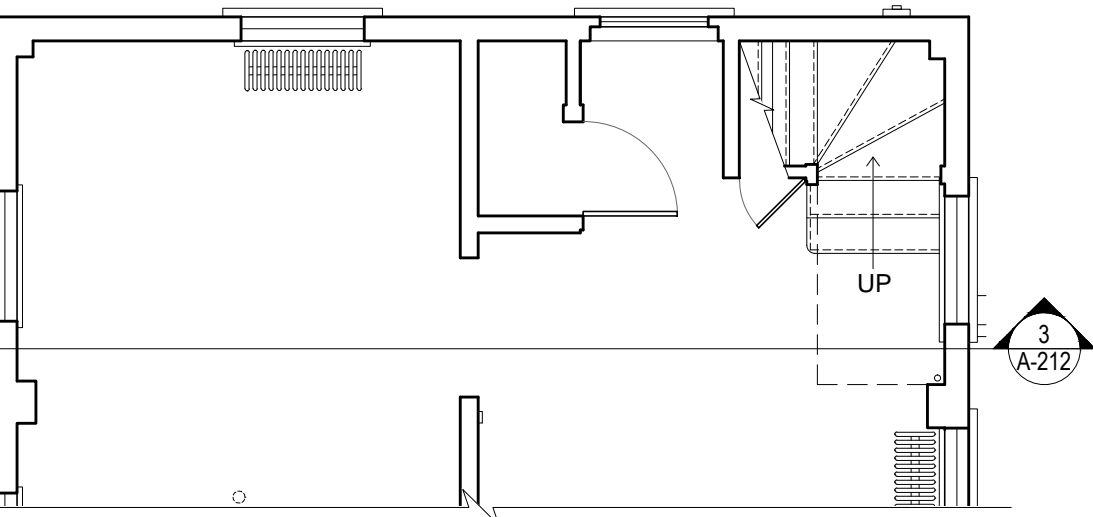
4 EXISTING - STAIR SECTION
1/4" = 1'-0"



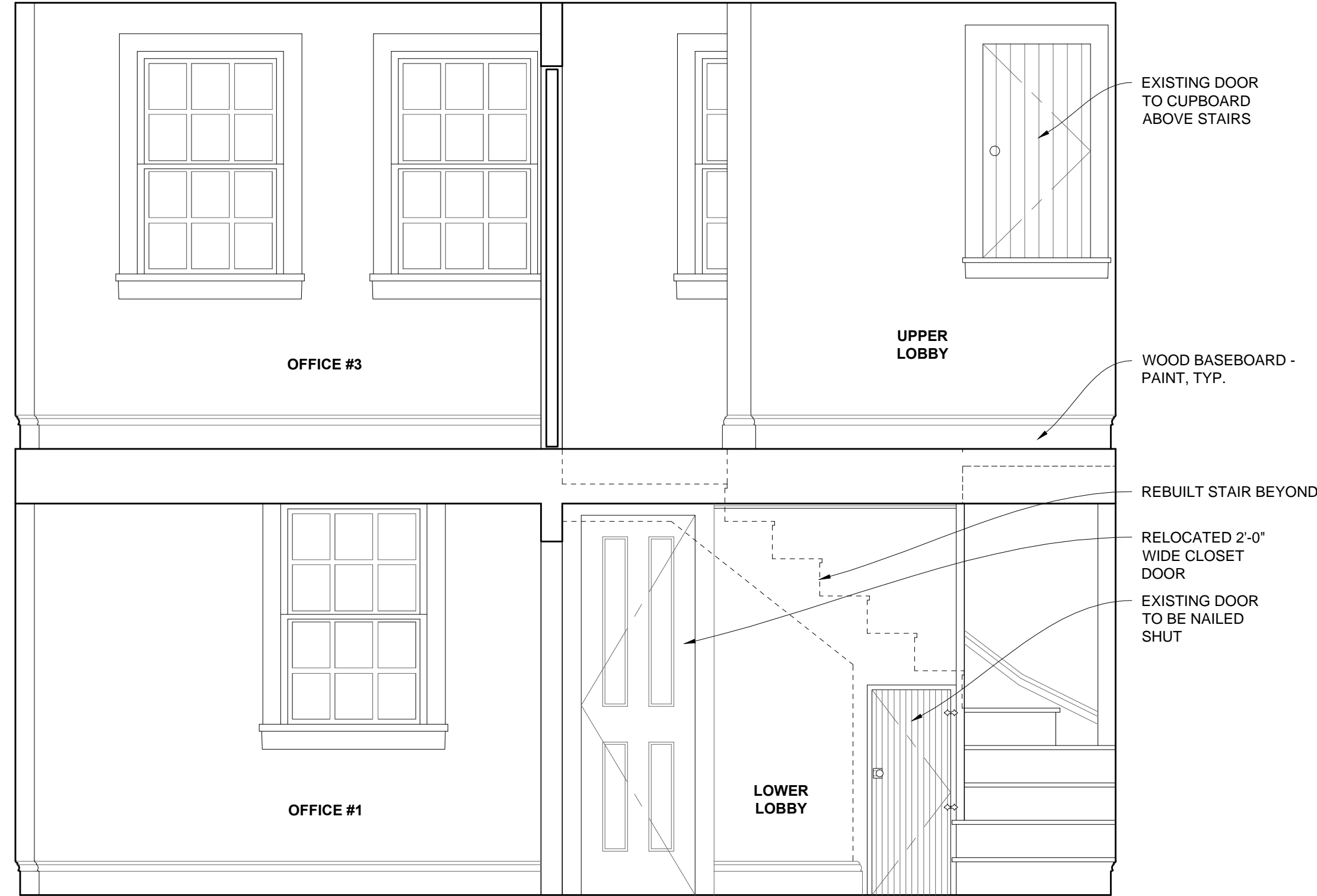
3 EXISTING - STAIR ELEVATION
1/4" = 1'-0"



2 EXISTING - SECOND FLOOR PLAN
1/4" = 1'-0"

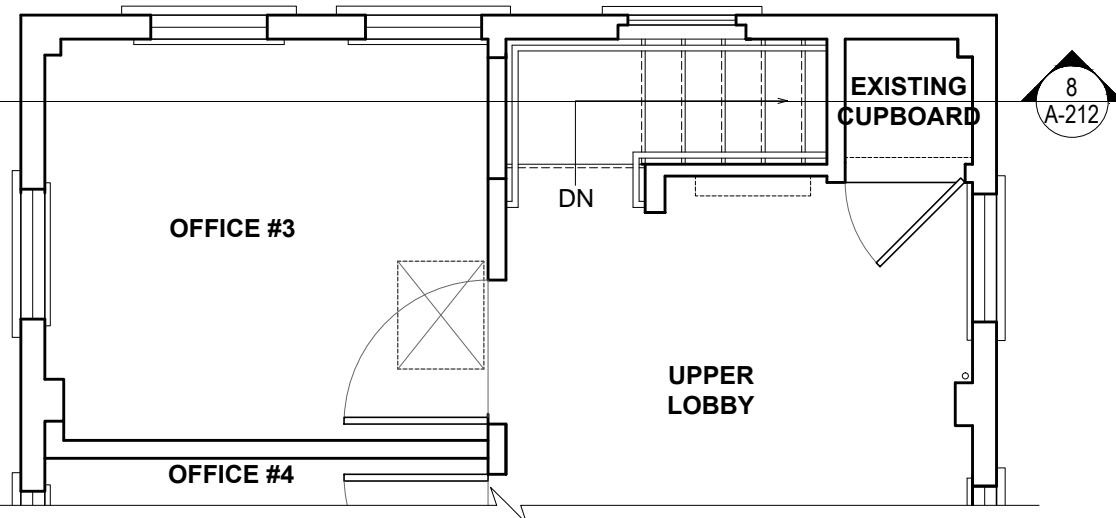


1 EXISTING - FIRST FLOOR PLAN
1/4" = 1'-0"

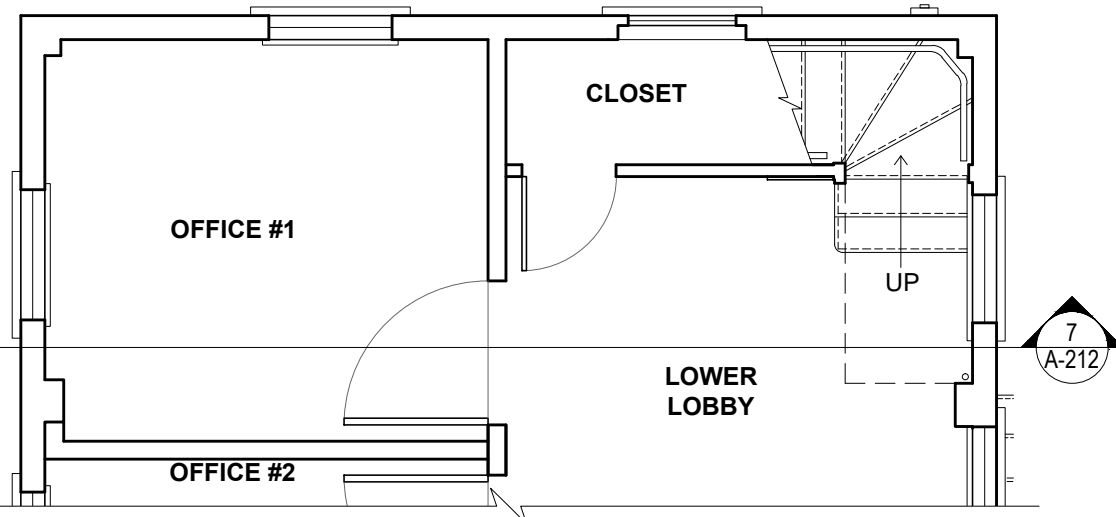


7 SECTION - LOOKING NORTH
1/4" = 1'-0"

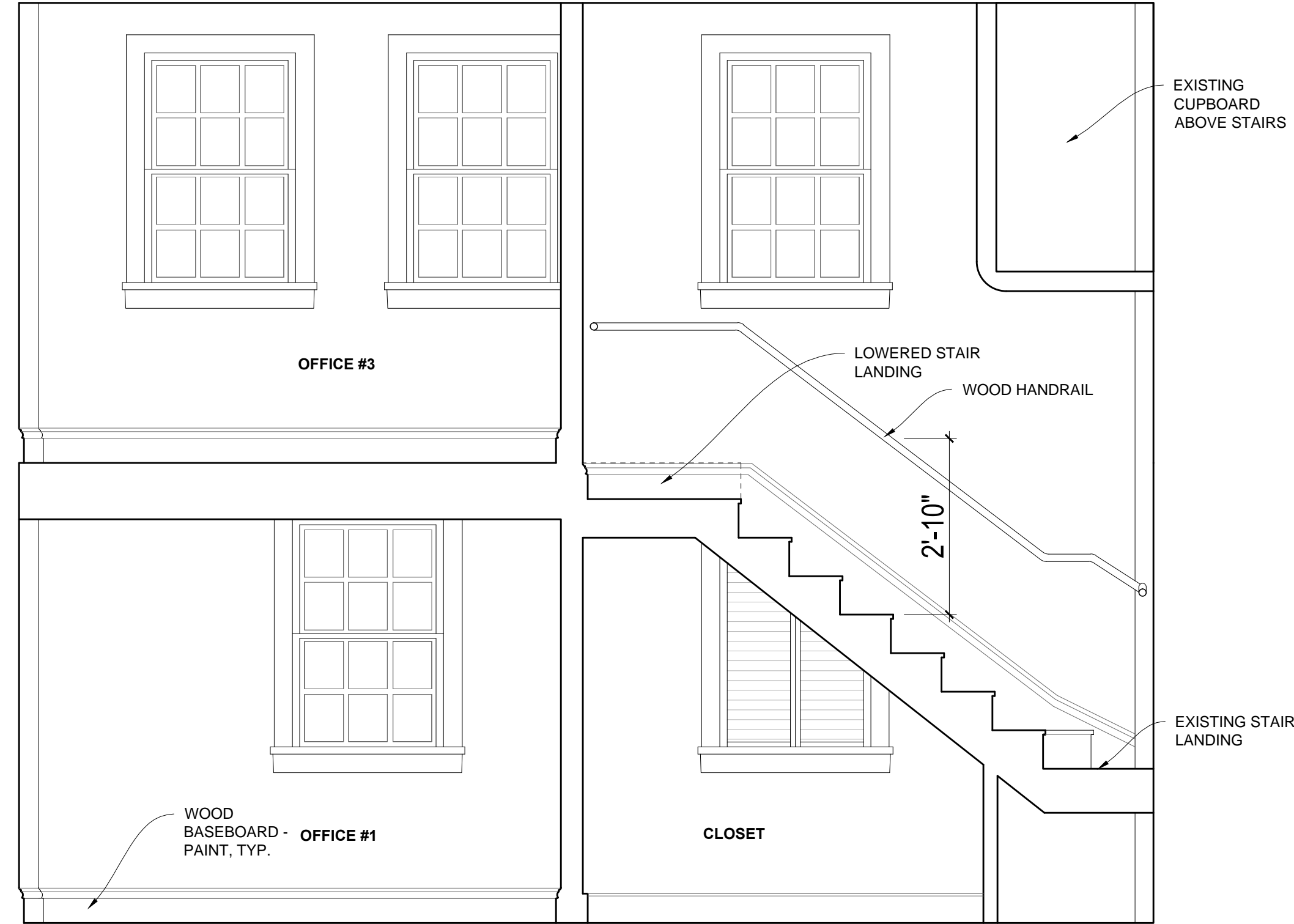
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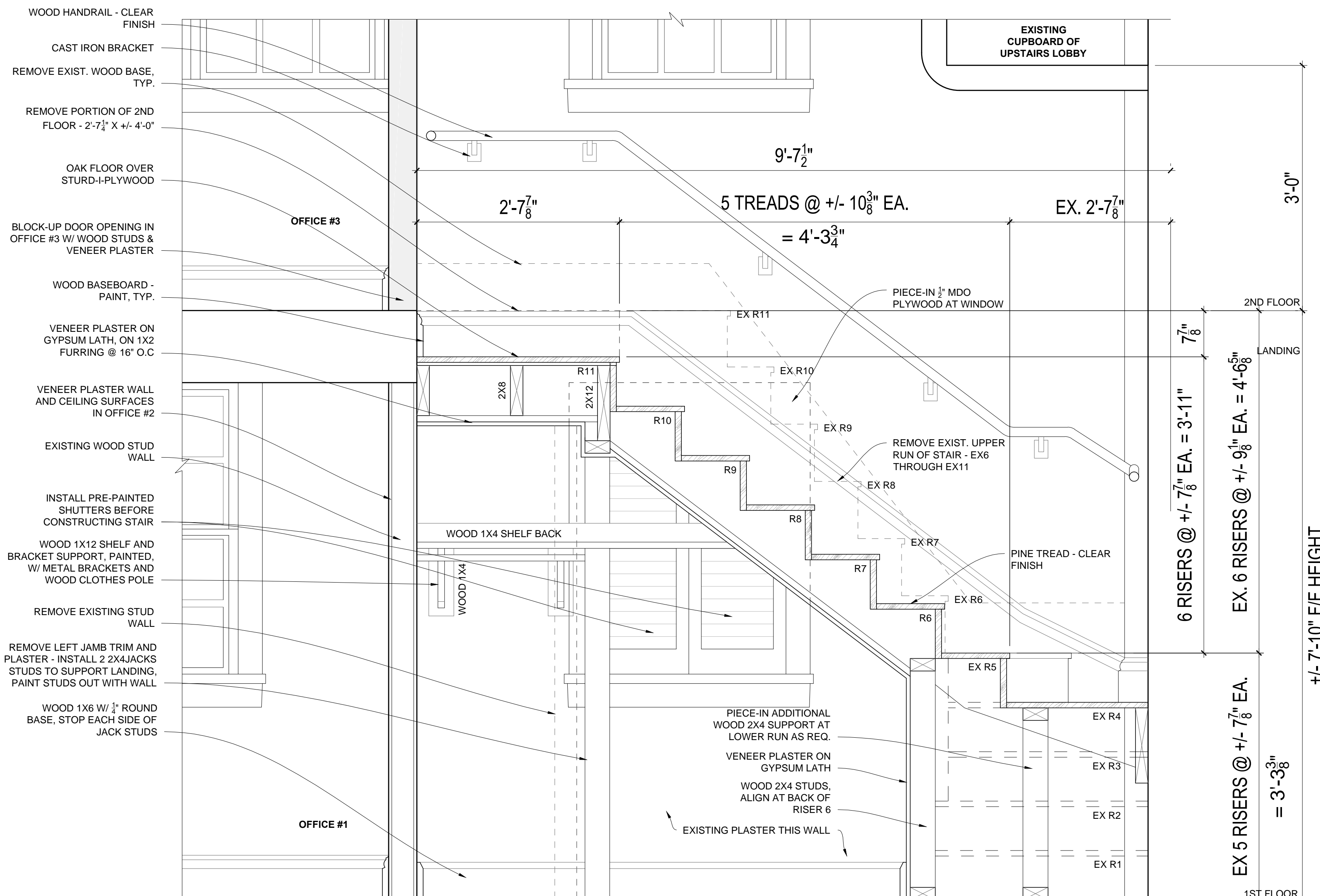
6 SECOND FLOOR PLAN
1/4" = 1'-0"



5 FIRST FLOOR PLAN
1/4" = 1'-0"



8 STAIR SECTION - LOOKING NORTH
1/2" = 1'-0"



9 STAIR SECTION - LOOKING NORTH
1" = 1'-0"


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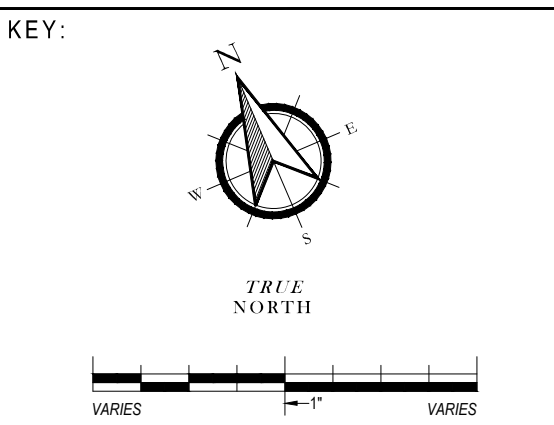
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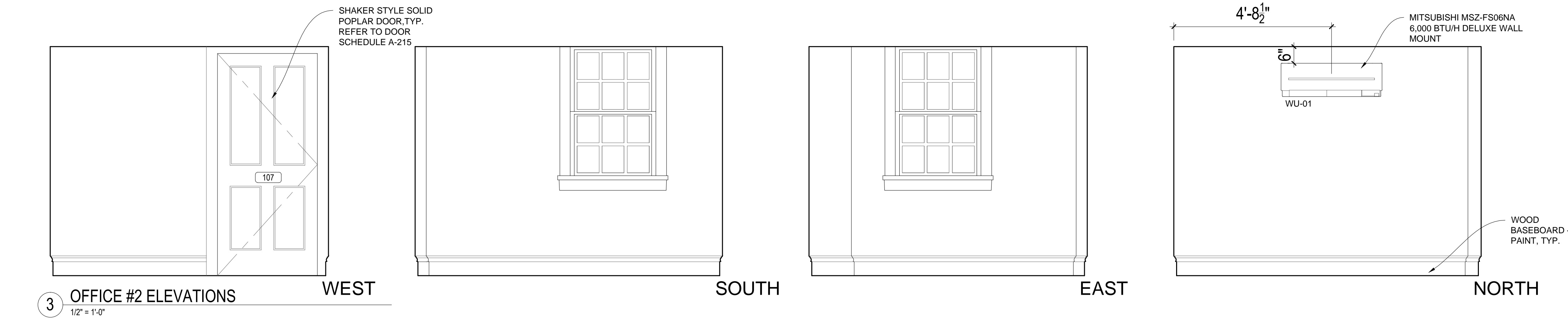
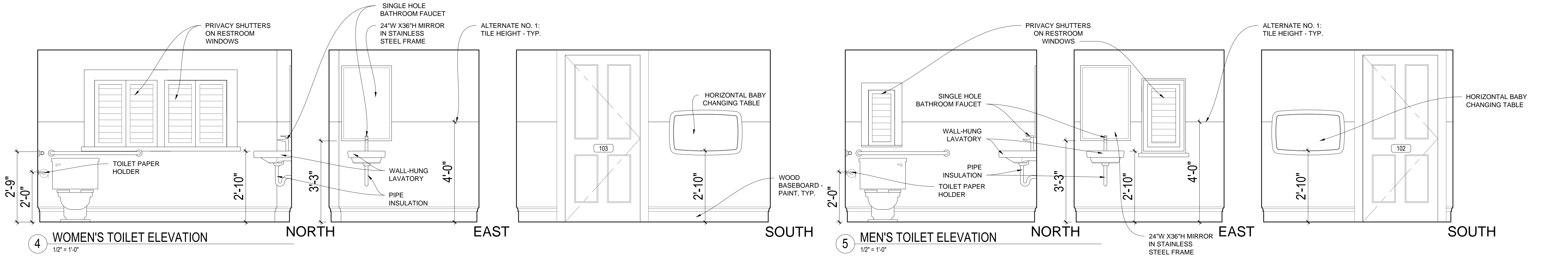
PROJECT: #1928.00
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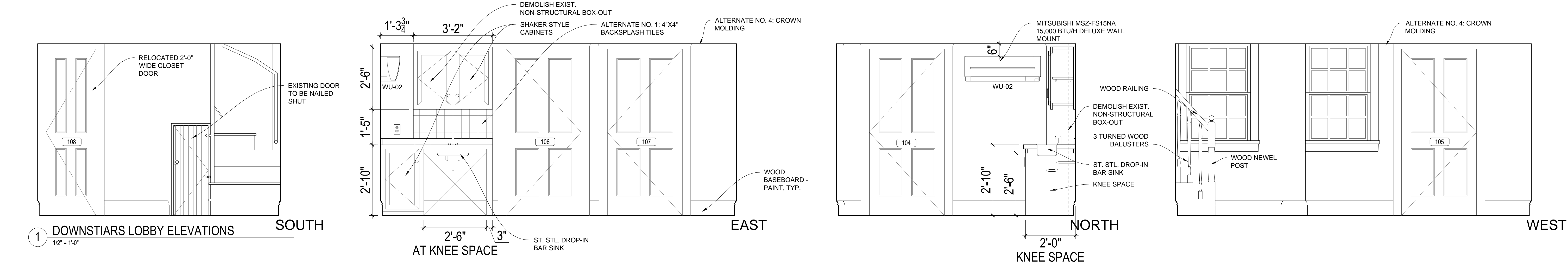
SHEET TITLE:
STAIR MODIFICATIONS

SHEET #:
A-212



PAINTING NOTE:
1. ALL WALLS, PARTITIONS, CEILINGS, DOORS, WINDOWS, AND TRIM SHALL BE PAINTED

BABY CHANGING TABLE:
1. MOUNTED AT 2'-10" TO TOP OF CHANGING SURFACE WHEN OPEN



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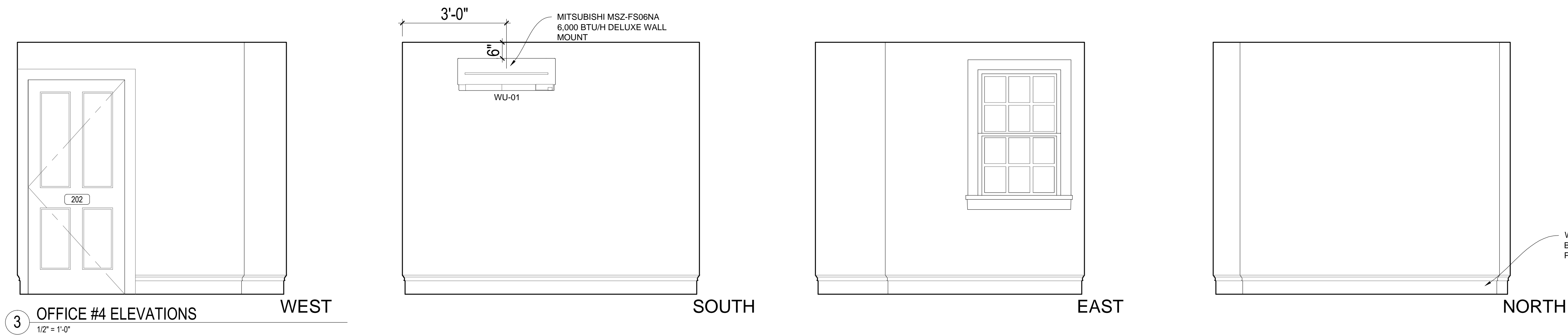
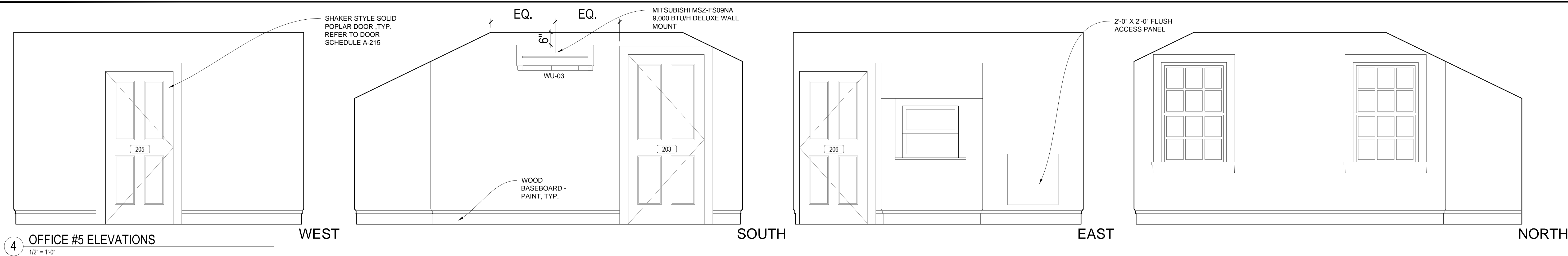
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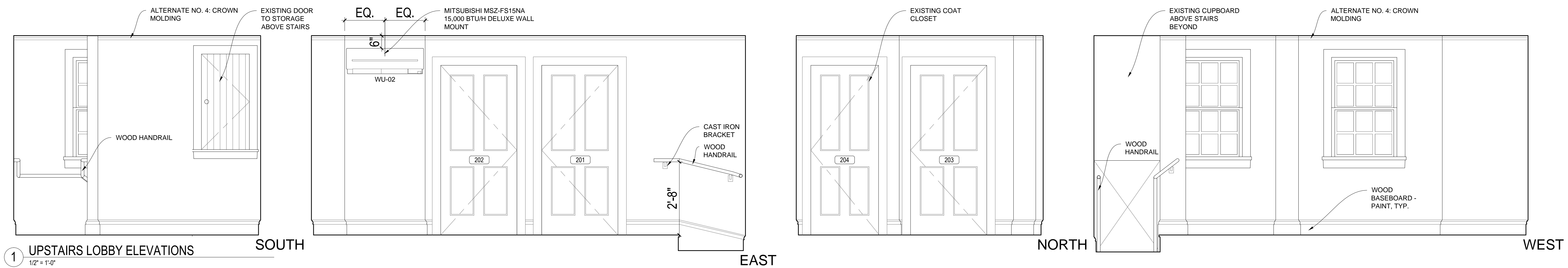
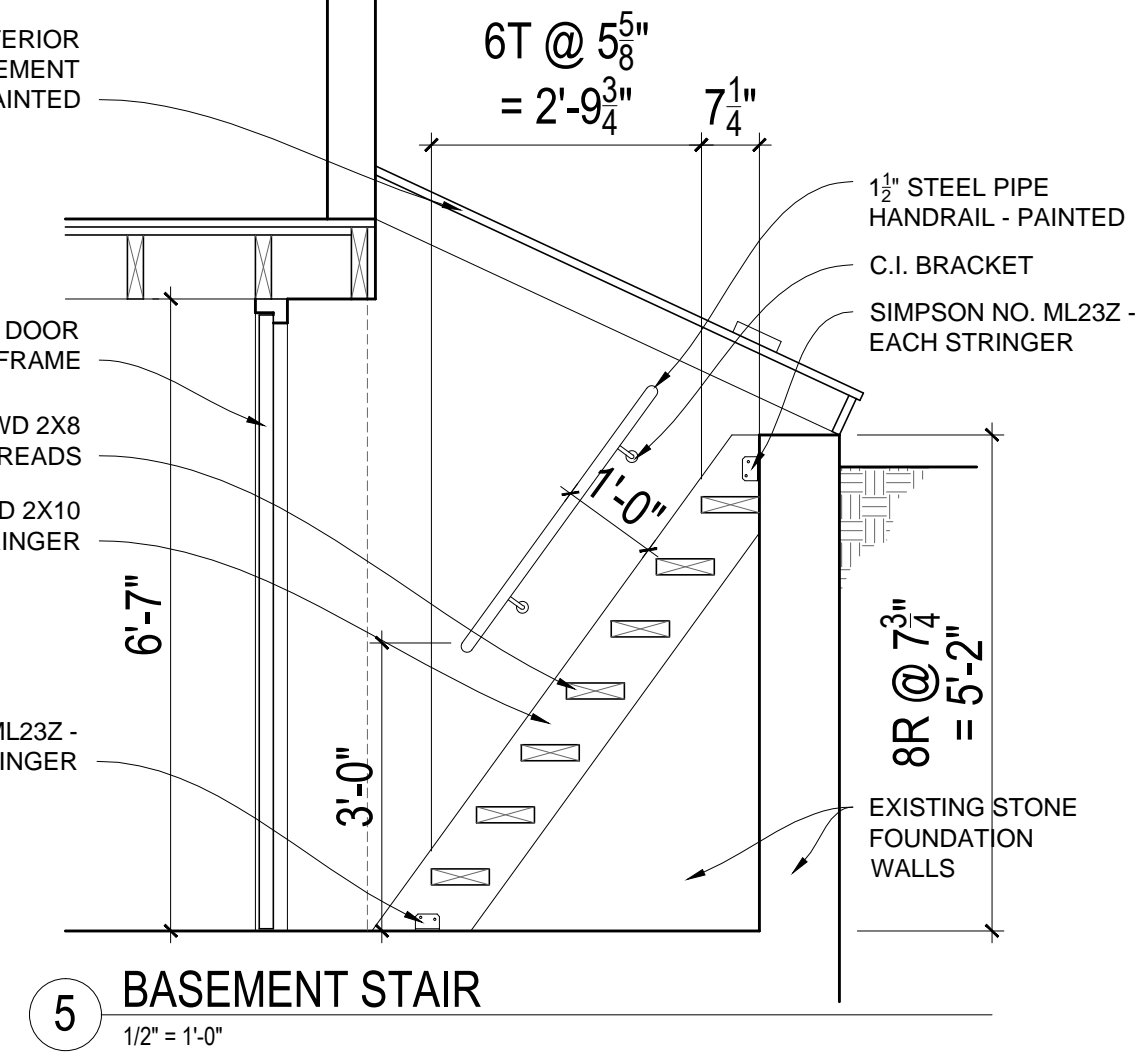
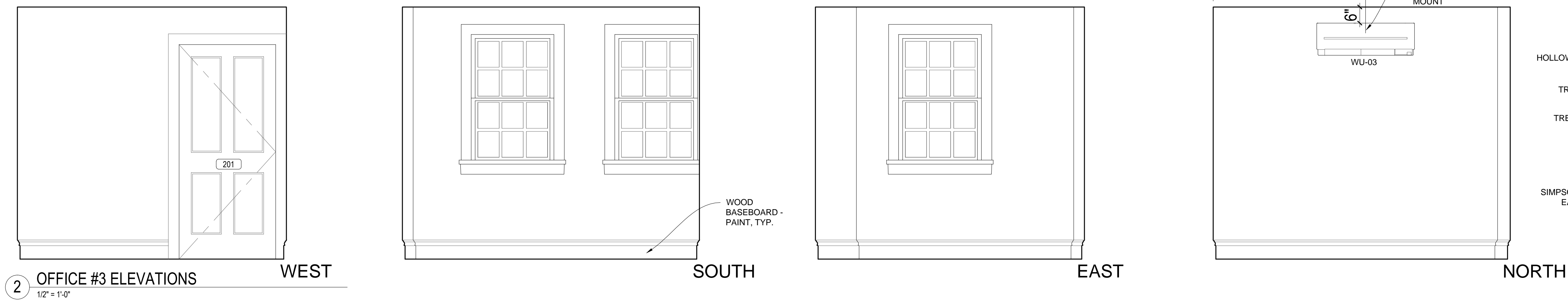
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#	DATE	DESCRIPTION
ISSUANCES:		
SEAL:		

SHEET TITLE:
INTERIOR ELEVATIONS - FIRST FLOOR

SHEET #:
A-213



PAINTING NOTE:
1. ALL WALLS, PARTITIONS, CEILINGS, DOORS, WINDOWS, AND TRIM SHALL BE PAINTED



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SHEET TITLE:
**INTERIOR ELEVATIONS -
SECOND FLOOR**

SHEET #:
A-214

WINDOW NOTES:
1. UNLESS NOTED OTHERWISE, EXISTING WINDOWS TO BE DISCARDED
2. CONTRACTOR SHALL VERIFY SIZES OF ALL WINDOWS BEFORE ORDERING

WINDOW SCHEDULE

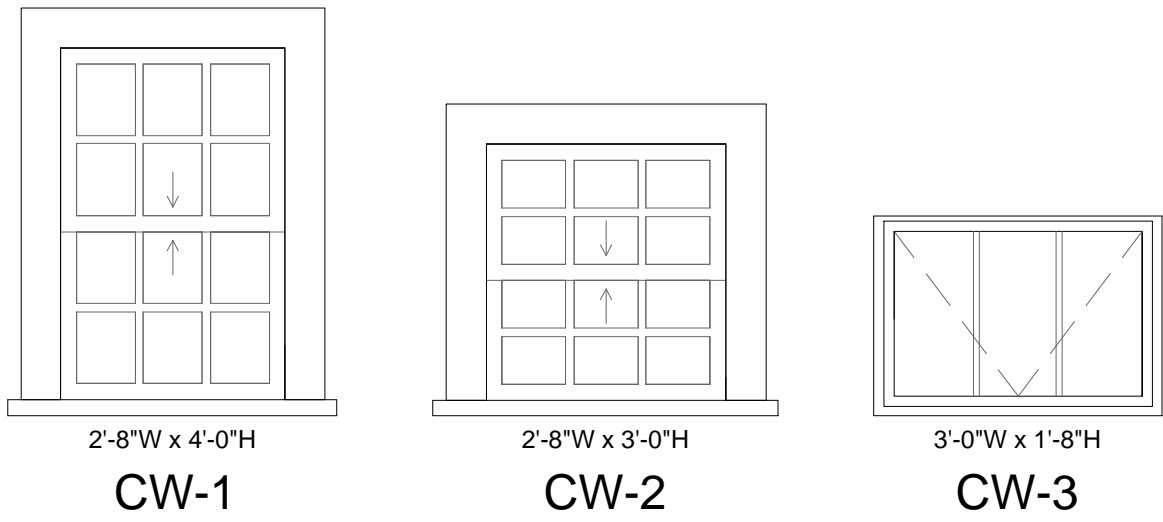
BUILDING ELEVATION	WINDOW TYPE, DESIGNATION, AND NUMBER REQ.						
	CW-1	CW-2	CW-3	CW-4	CW-5	CW-6	CW-7
NORTH	6	-	1	-	-	-	-
SOUTH	2	2	1	-	1	-	-
EAST	4	1	2	-	-	-	1
WEST	4	-	1	1	-	1	-
TOTALS	16	3	5	1	1	1	1

1 WINDOW SCHEDULE

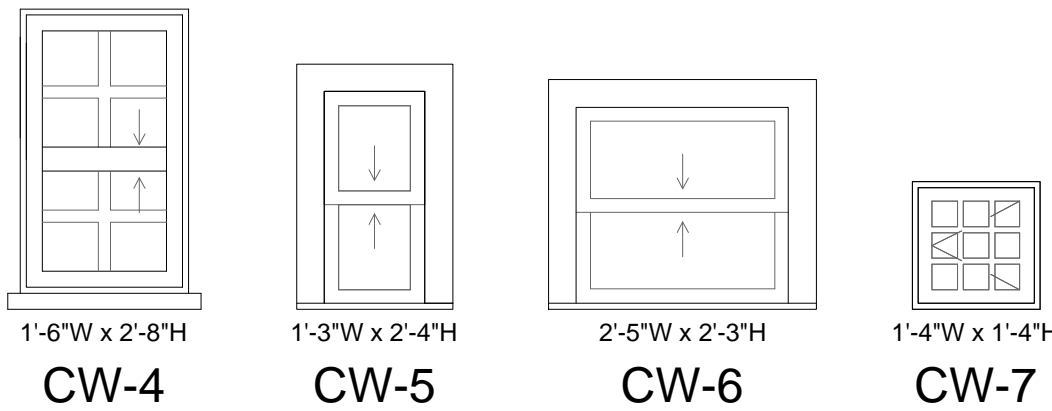
DOOR SCHEDULE

No.	SIZE	THICKNESS	MATERIAL	ELEV.	FROM-TO	JAMB
B01	2'-6" x 6'-5"	0'-1 3/4"	FL. METAL	C	BASEMENT - EXTER.	J3
101	3'-0" x 7'-0"	0'-1 3/4"	WD PANEL	B	FOYER - EXTER.	J2
102	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	MEN'S TOILET - FOYER	J1
103	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	WOMEN'S TOILET - FOYER	J1
104	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	LOWER LOBBY - FOYER	J1
105	3'-0" x 7'-0"	0'-1 3/4"	WD PANEL	B	EXTER. - LOWER LOBBY	J2
106	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	LOWER LOBBY - OFFICE #1	J1
107	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	LOWER LOBBY - OFFICE #2	J1
108	2'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	CLOSET - LOWER LOBBY	J1
201	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	UPPER LOBBY - OFFICE #3	J1
202	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	UPPER LOBBY - OFFICE #4	J1
203	3'-0" x 6'-8"	0'-1 3/8"	WD PANEL	A	UPPER LOBBY - OFFICE #5	J1
204	2'-8" x 6'-8"	0'-1 3/8"	WD PANEL	A	CLOSET - UPPER LOBBY	J1
205	2'-8" x 6'-8"	0'-1 3/8"	WD PANEL	A	STORAGE - OFFICE #5	J1
206	2'-8" x 6'-8"	0'-1 3/8"	WD PANEL	A	CLOSET - OFFICE #5	J1

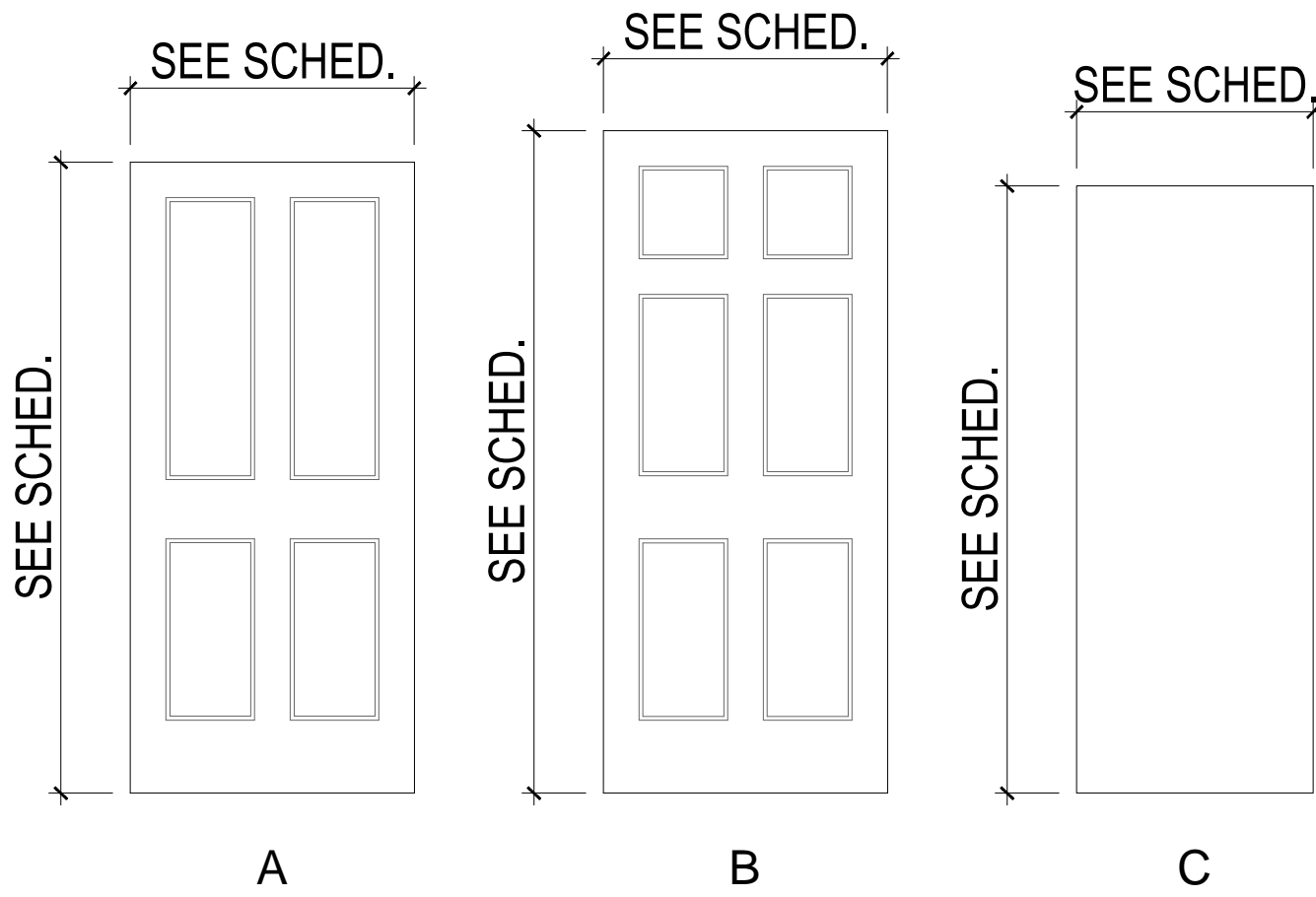
2 DOOR SCHEDULE



WINDOW INSTALLED UNDER THIS CONTRACT

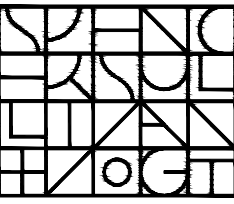


EXIST. WINDOWS TO BE RECONDITIONED



DOOR ELEVATIONS

ARCHITECT:



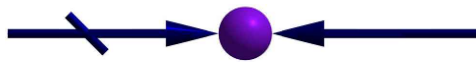
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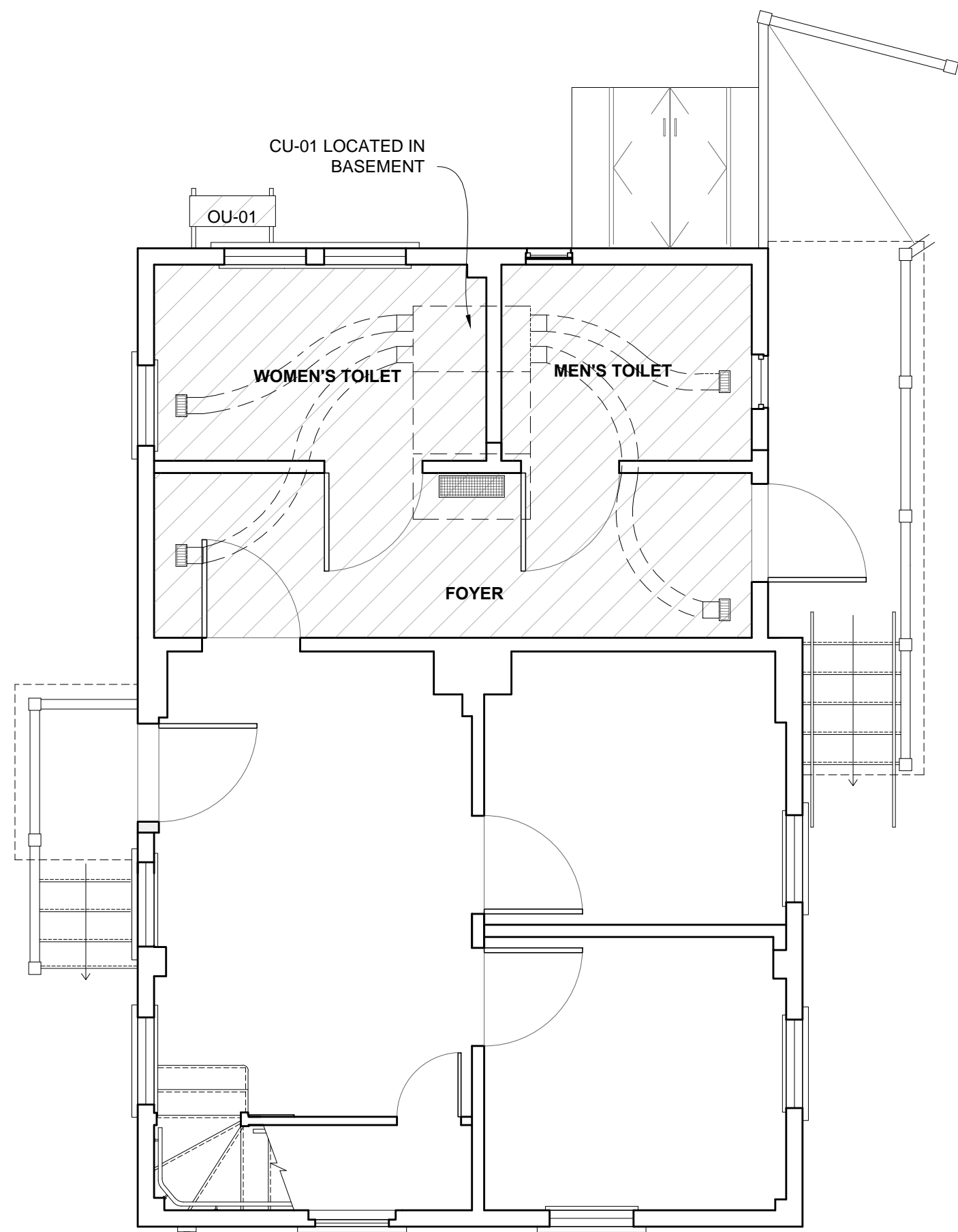
SEAL:

SHEET TITLE:

DOOR & WINDOW
SCHEDULE

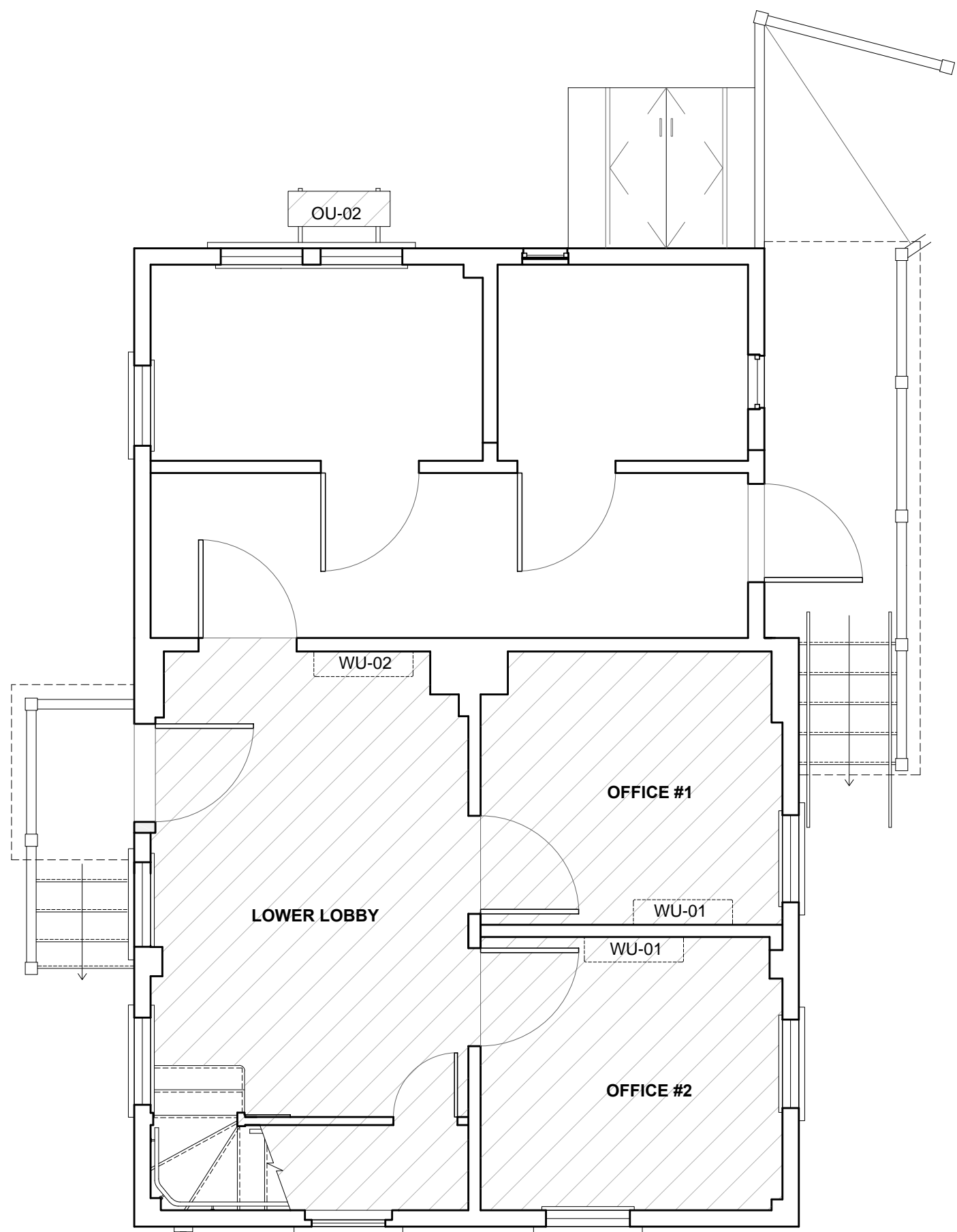
SHEET #:

A-215



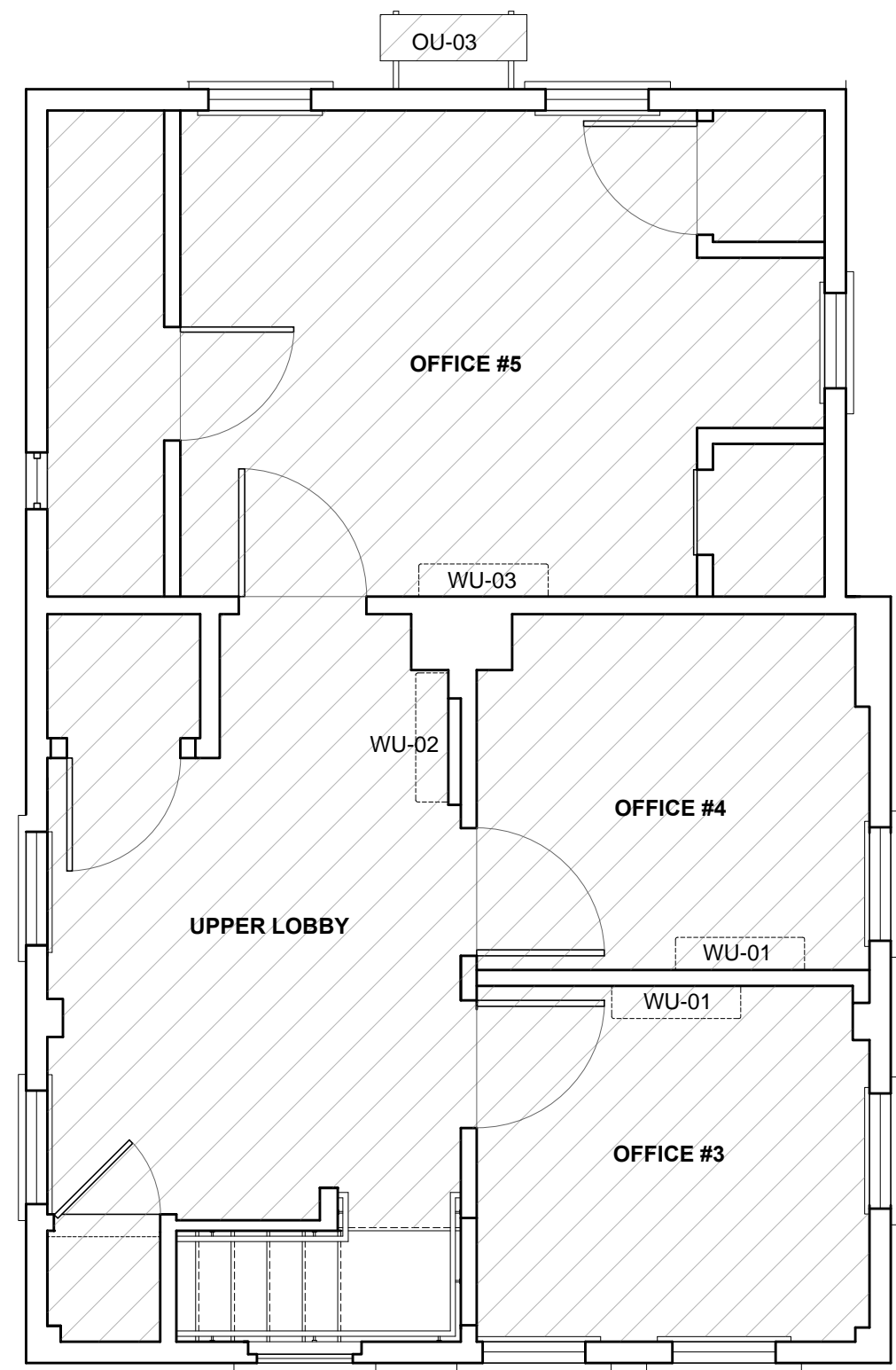
1 ZONE 1 - EQUIPMENT DIAGRAM
1/4" = 1'-0"

ZONE 1 EQUIP. SCHED.		
AREA	EQUIP.	TAG
WOMEN'S TOILET, MEN'S TOILET, FOYER	DUCTED AIR HANDLER: (1) PEAD-A15AA7	CU-01
OUTDOOR	OUTDOOR UNIT: (1) SUZ-KA15NA2	OU-01



2 ZONE 2 - EQUIPMENT DIAGRAM
1/4" = 1'-0"

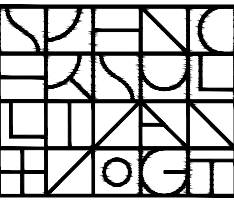
ZONE 2 EQUIP. SCHED.		
AREA	EQUIP.	TAG
LOWER LOBBY	DUCTLESS: (1) 15,000BTU/H WALL MOUNT MSZ-FS15NA	WU-02
OFFICE #1	DUCTLESS: (1) 6,000BTU/H WALL MOUNT MSZ-FS96NA	WU-01
OFFICE #2	DUCTLESS: (1) 6,000BTU/H WALL MOUNT MSZ-FS96NA	WU-01
OUTDOOR	OUTDOOR UNIT: (1) MULTI-ZONE INVERTER HEAT-PUMP SYSTEM MXZ-3C30NAHZ2	OU-02



3 ZONE 3 - EQUIPMENT DIAGRAM
1/4" = 1'-0"

ZONE 3 EQUIP. SCHED.		
AREA	EQUIP.	TAG
UPPER LOBBY	DUCTLESS: (1) 15,000BTU/H WALL MOUNT MSZ-FS15NA	WU-02
OFFICE #3	DUCTLESS: (1) 6,000BTU/H WALL MOUNT MSZ-FS96NA	WU-01
OFFICE #4	DUCTLESS: (1) 6,000BTU/H WALL MOUNT MSZ-FS96NA	WU-01
OFFICE #5	DUCTLESS: (1) 9,000BTU/H WALL MOUNT MSZ-FS09NA	WU-03
OUTDOOR	OUTDOOR UNIT: (1) MULTI-ZONE INVERTER HEAT-PUMP SYSTEM MXZ-4C36NAHZ2	OU-03

ARCHITECT:



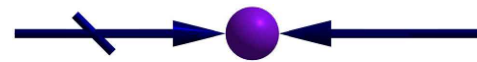
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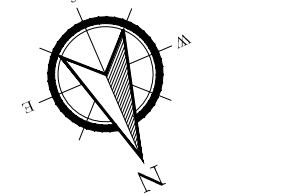
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WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE
INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00	Xxx. 00, 0000	DESCRIPTION
#	DATE	DESCRIPTION

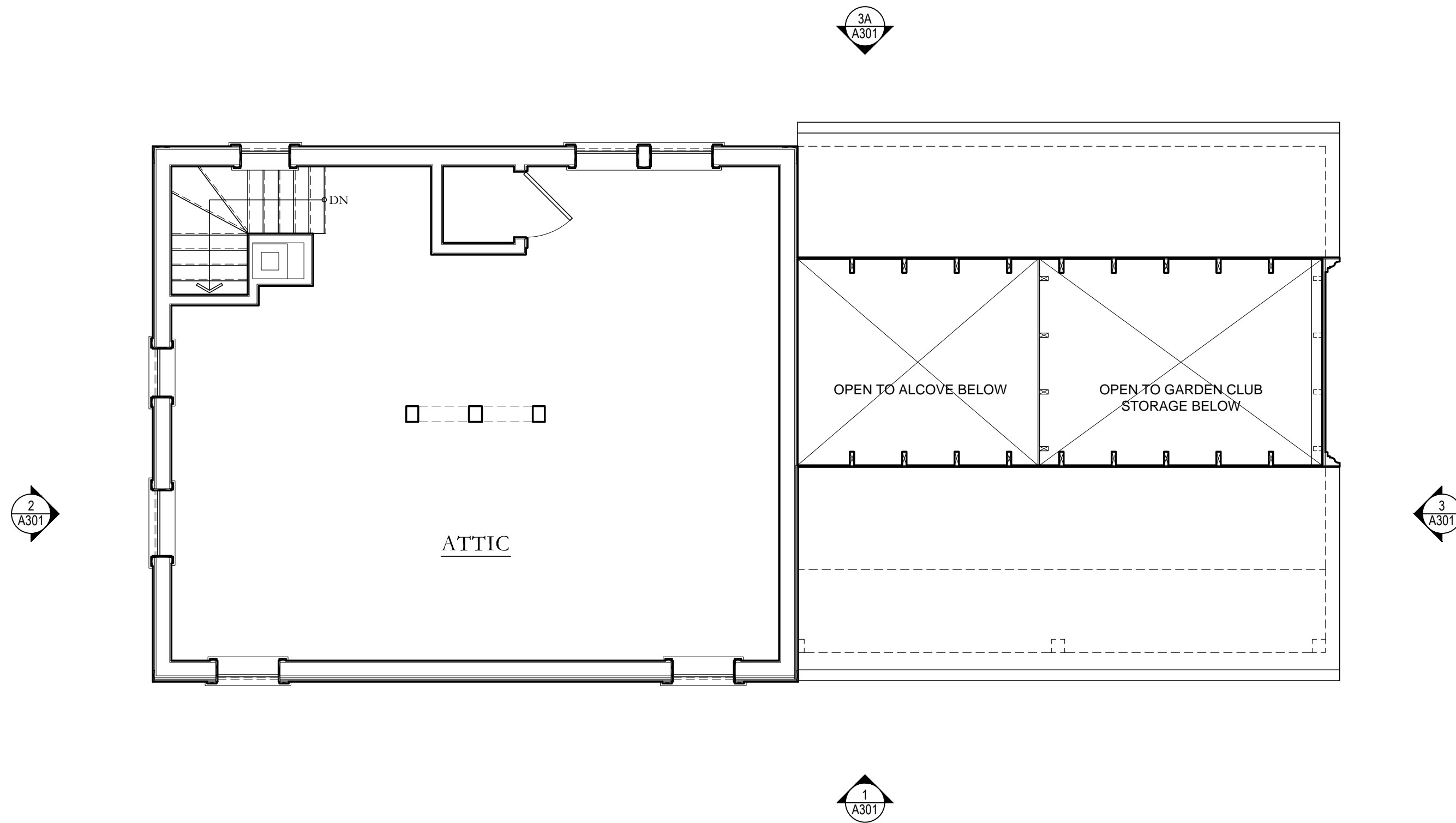
ISSUANCES:

SEAL:

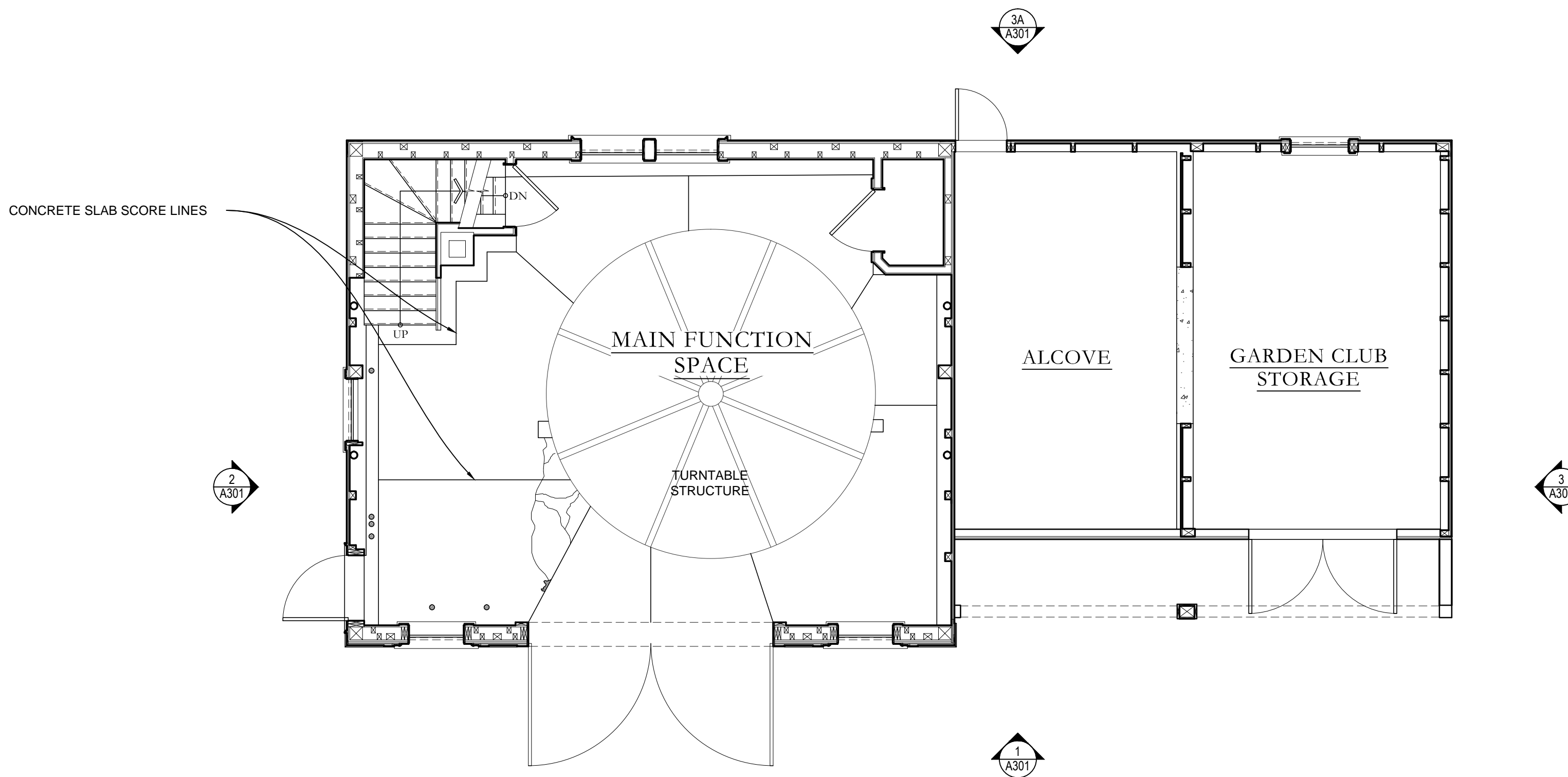
SHEET TITLE:
EQUIPMENT SCHEDULE

SHEET #:

A-216

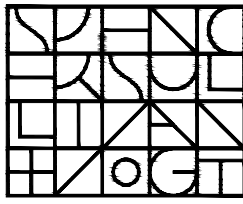


1 EXISTING ATTIC FLOOR PLAN
1/4" = 1'-0"



2 EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"

ARCHITECT:



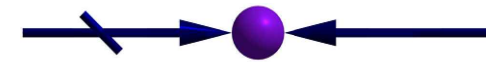
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Charlestown, MA 02129-3308
T: (617) 861-4291
www.SSVarchitects.com

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Telephone: (617) 484-4733
www.MacLeod-Consulting.com

OWNER:



Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS**

**CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



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#	DATE	DESCRIPTION

ISSUANCES:

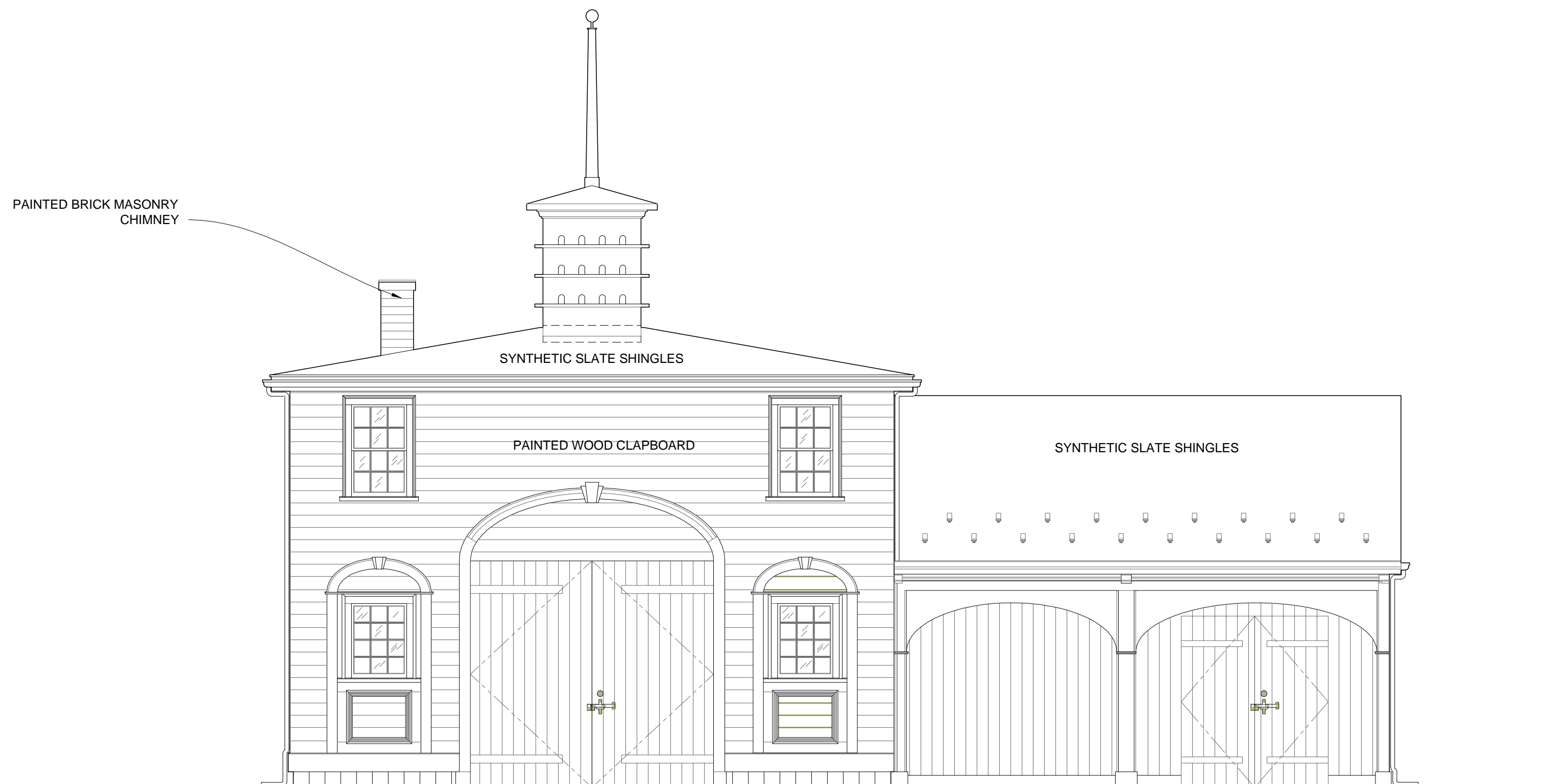
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SHEET TITLE:

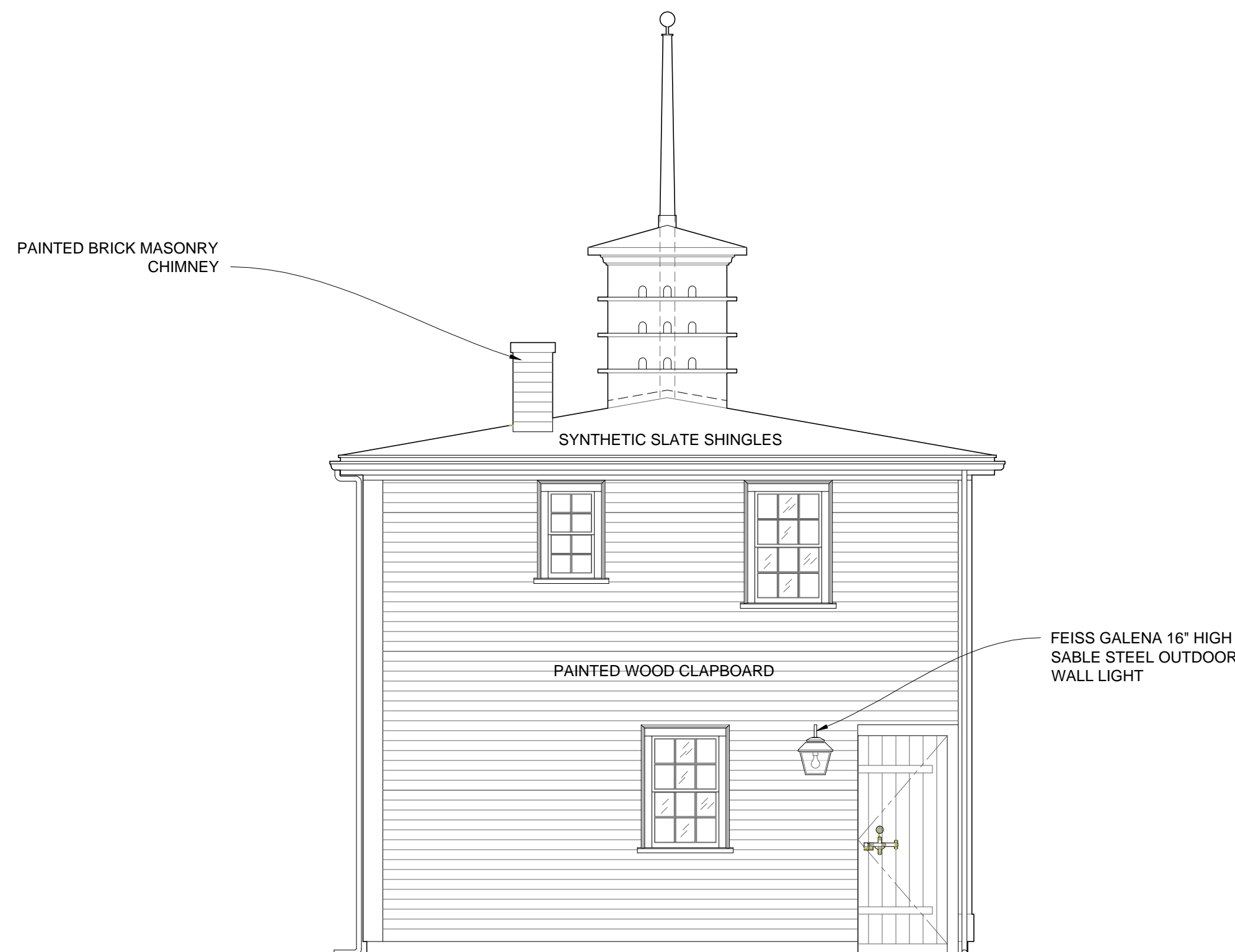
**CARRIAGE HOUSE -
EXISTING FLOOR PLANS**

SHEET #:

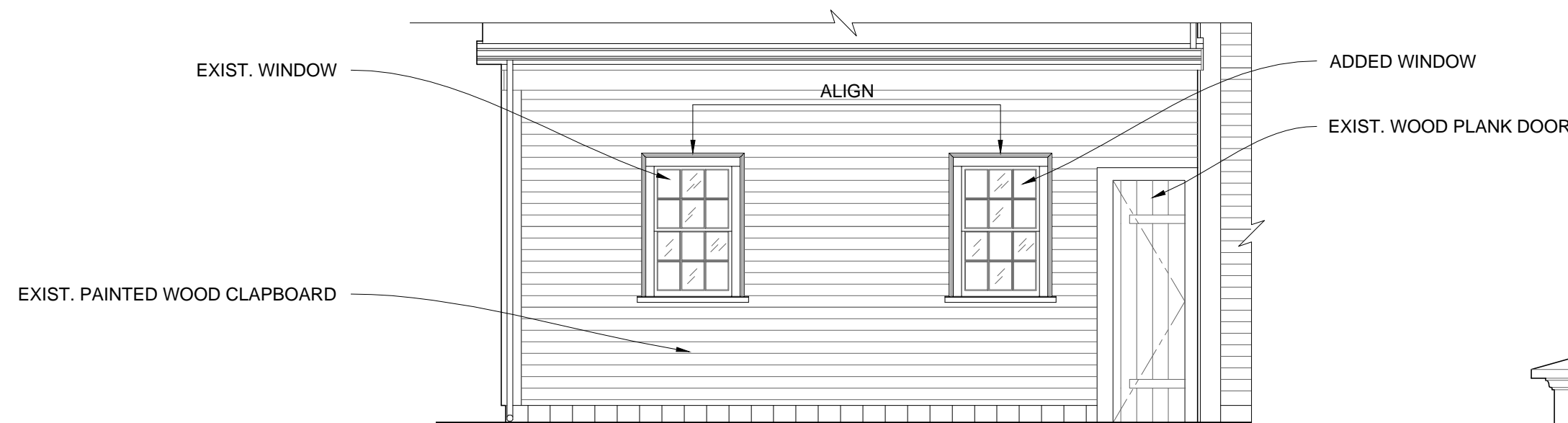
A-300



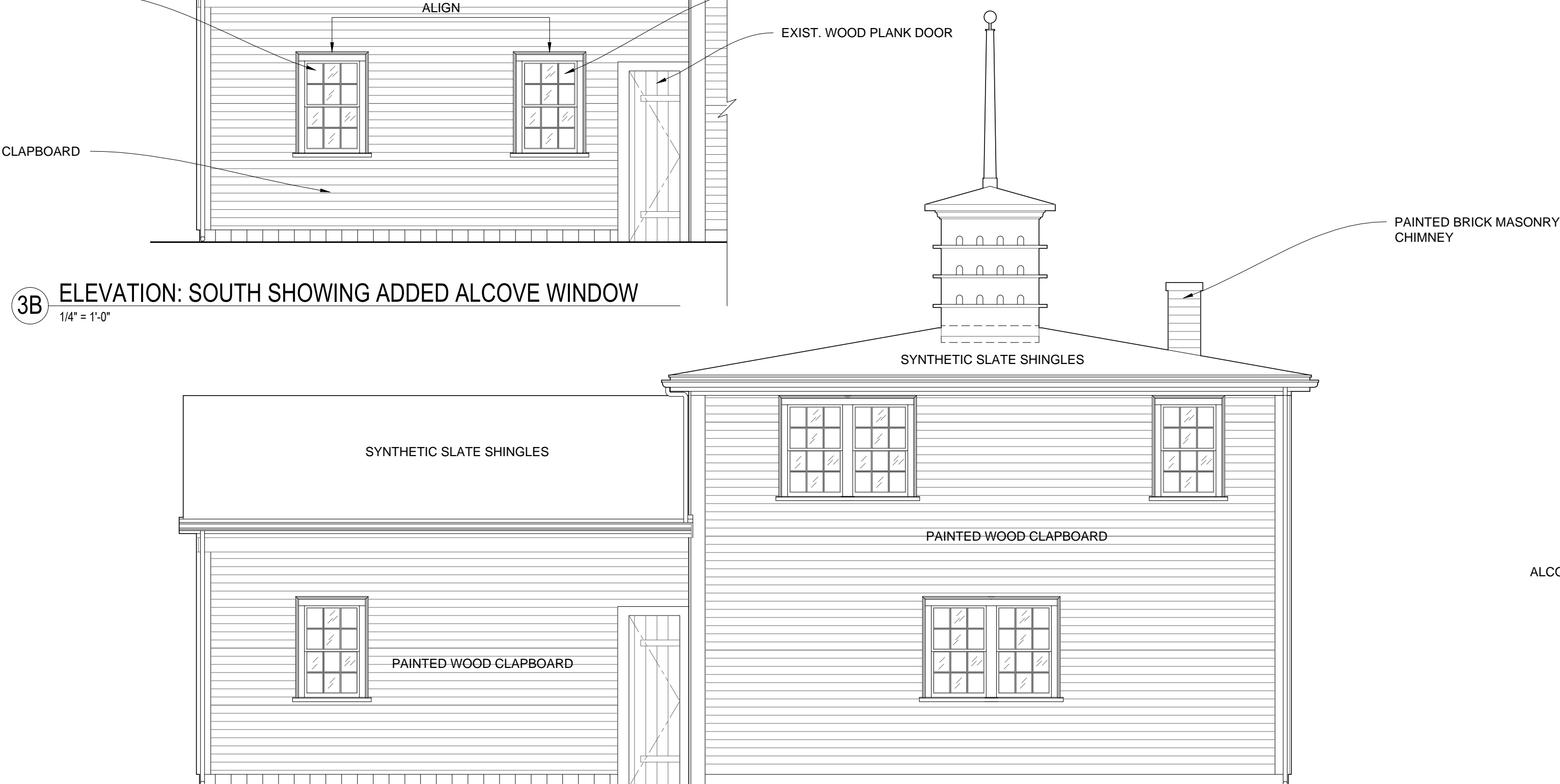
1 EXISTING ELEVATION: NORTH
1/4" = 1'-0"



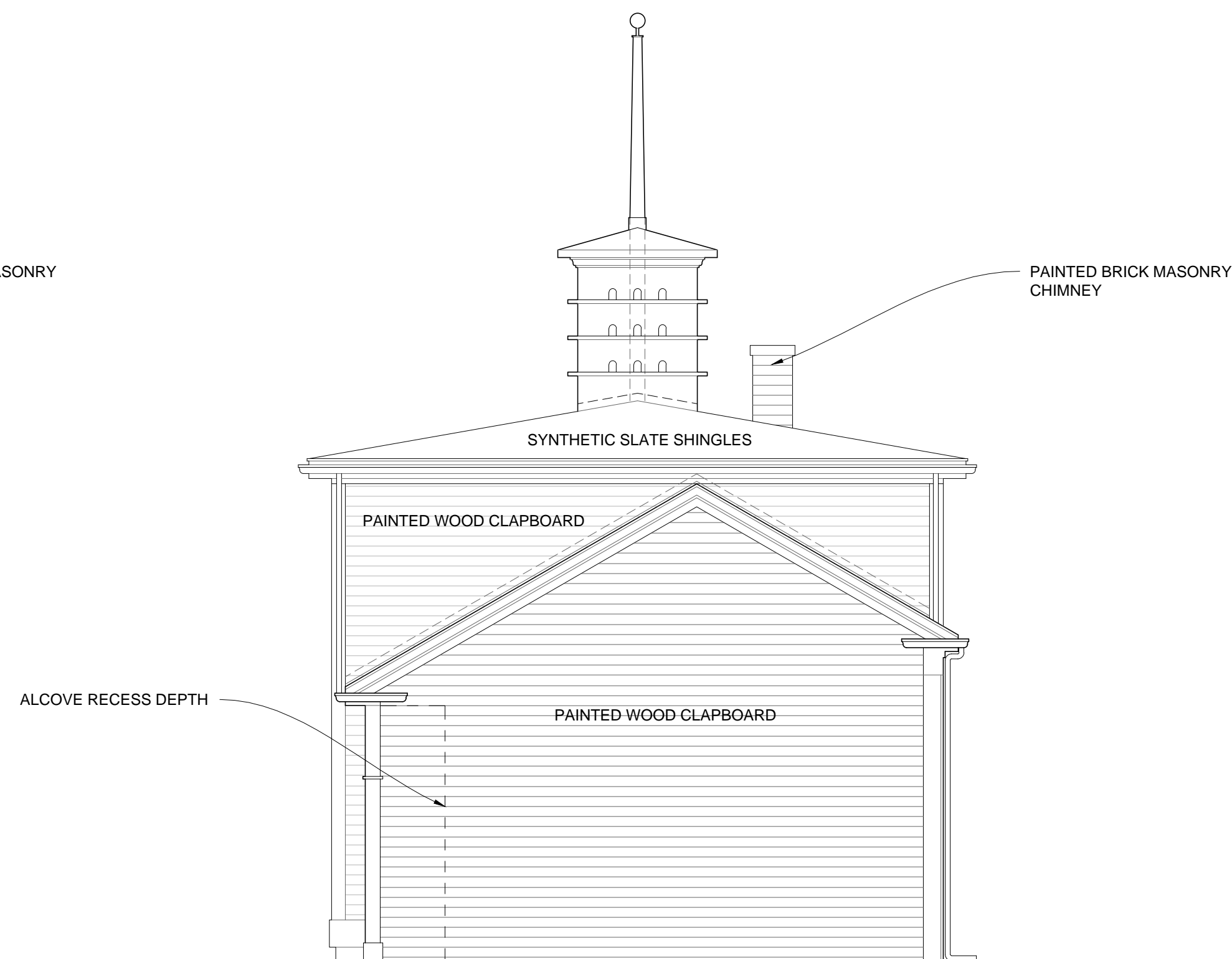
2 EXISTING ELEVATION: EAST
1/4" = 1'-0"



3B ELEVATION: SOUTH SHOWING ADDED ALCOVE WINDOW
1/4" = 1'-0"



3A EXISTING ELEVATION: SOUTH
1/4" = 1'-0"



4 EXISTING ELEVATION: WEST
1/4" = 1'-0"

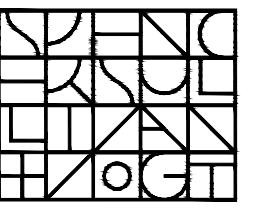
NOTES:

1. WITH THE EXCEPTION OF THE WINDOW BEING ADDED AT THE SOUTH ELEVATION AND THE LIGHTING FIXTURE, WORK ON CARRIAGE HOUSE IS LIMITED TO INTERIOR WORK ON THE FIRST FLOOR - EXTERIOR ELEVATIONS INCLUDED FOR INFORMATION ONLY.
2. THE EXTERIOR OF THIS BUILDING WAS THOROUGHLY RENOVATED IN 2017, INCLUDING BEING RE-ROOFED AND PAINTED.

DESIGN-BUILD NOTES:

1. EXTERIOR: INSTALL WALL FIXTURES AS SPECIFIED.

ARCHITECT:



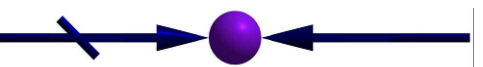
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WHITEMORE-ROBBINS
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REHABILITATION OF
THREE BUILDINGS

CARRIAGE HOUSE
INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

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SEAL:

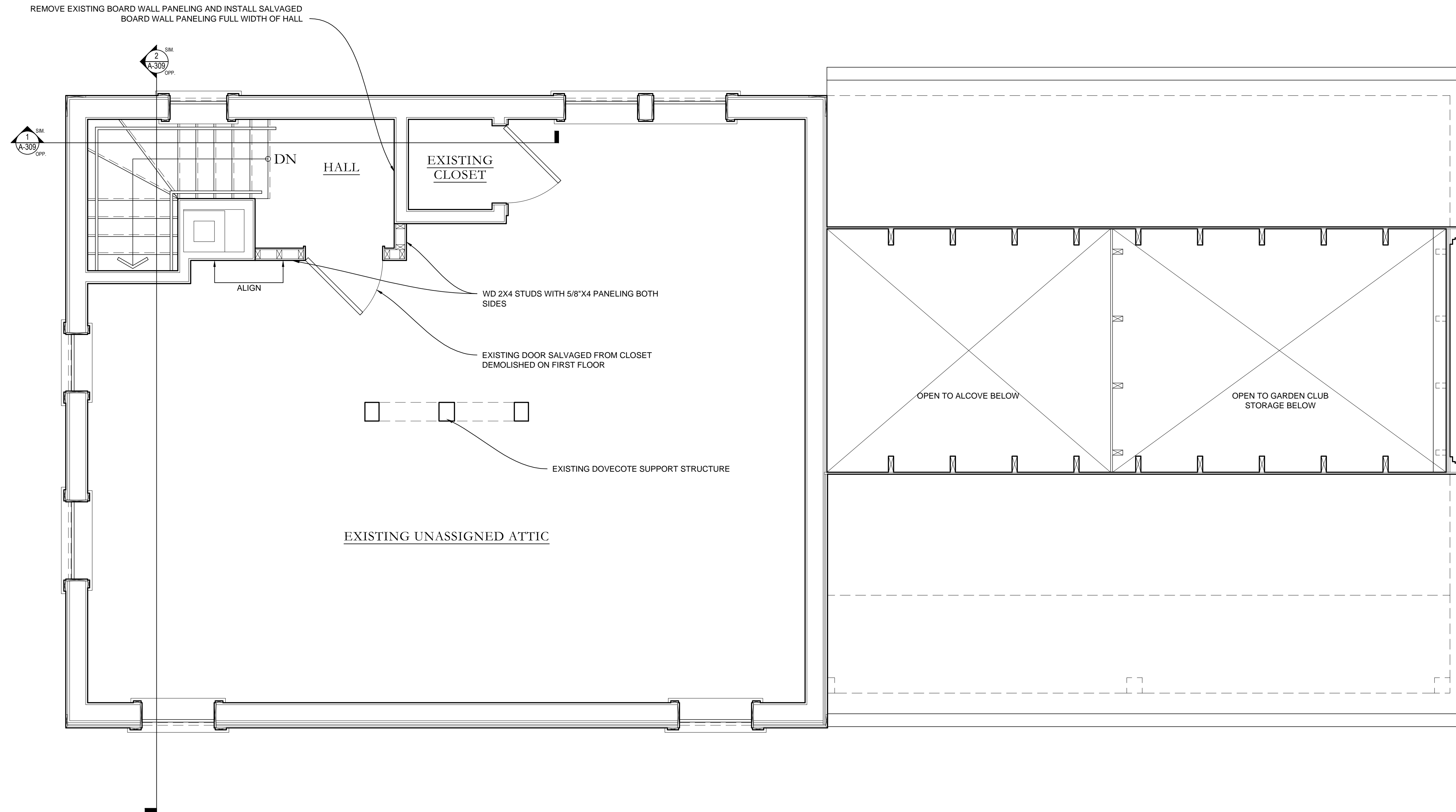
SHEET TITLE:

CARRIAGE HOUSE -
EXTERIOR ELEVATIONS

SHEET #:

A-301

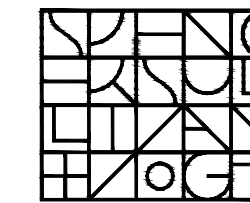
A-302



1 ATTIC FLOOR PLAN
1/2" = 1'-0"

NOTE:
1. EXISTING FINISHES ON THIS LEVEL TO REMAIN AS IS
UNLESS NOTED OTHERWISE.

ARCHITECT:



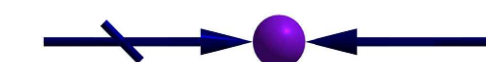
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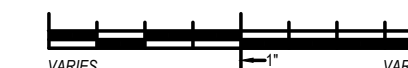
PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS**

**CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



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#	DATE	DESCRIPTION

ISSUANCES:

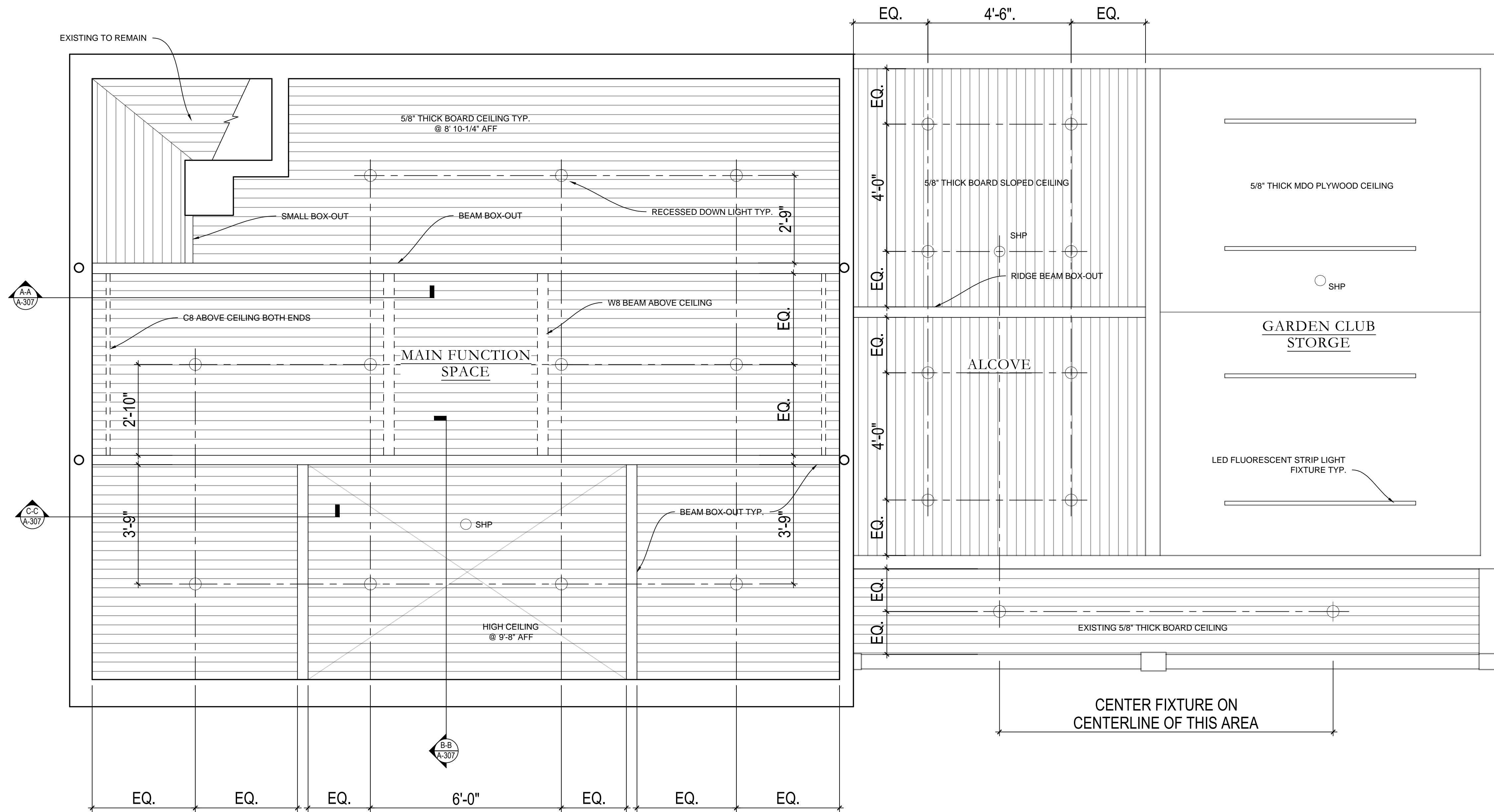
SEAL:

SHEET TITLE:

**CARRIAGE HOUSE - ATTIC
FLOOR PLAN**

SHEET #:

A-303

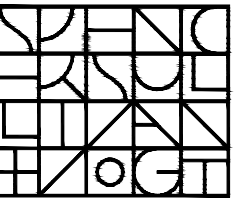


1 REFLECTED CEILING PLAN
1/2" = 1'-0"

PAINTING NOTES:

1. WOOD BEAD BOARD CEILING SHALL RECEIVE CLEAR FINISH
2. BEAMS SHALL BE PAINTED

ARCHITECT:



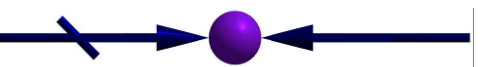
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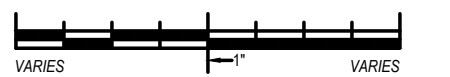
PROJECT: #1928.00

**WHITTEMORE-ROBBINS
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ISSUANCES:

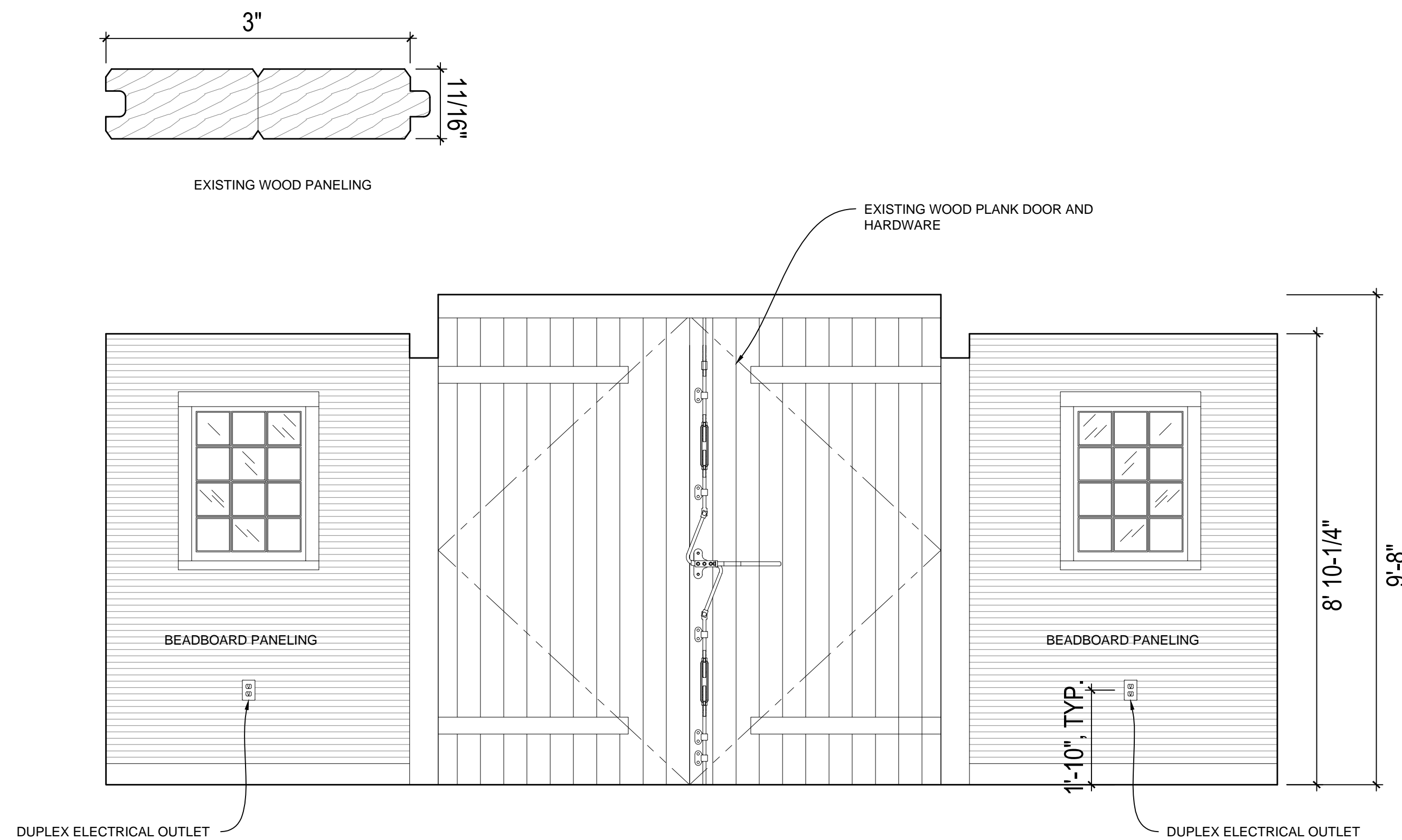
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SHEET TITLE:

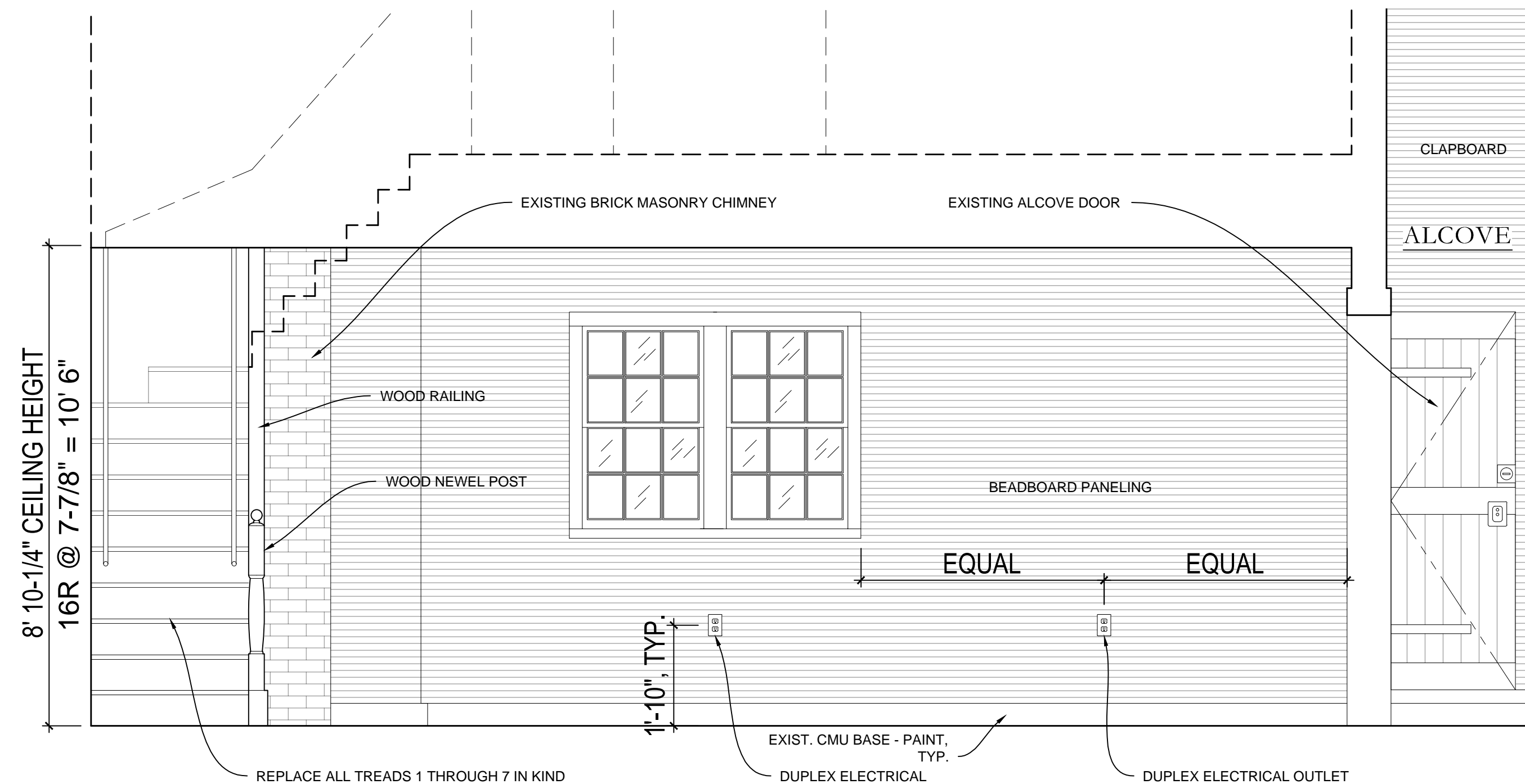
**CARRIAGE HOUSE -
GROUND FLOOR
REFLECTED CEILING PLAN**

SHEET #:

A-304

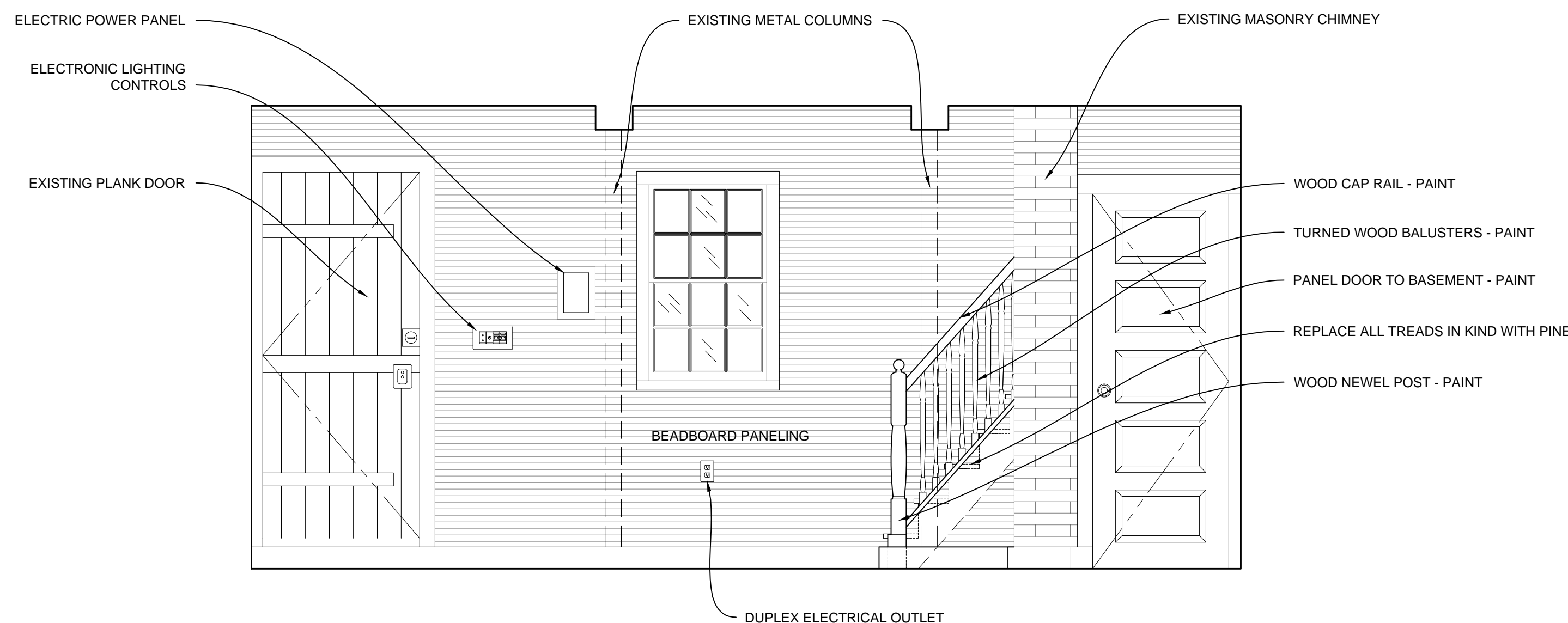


1 INTERIOR SECTION: MAIN FUNCTION SPACE- LOOKING NORTH
1/2" = 1'-0"

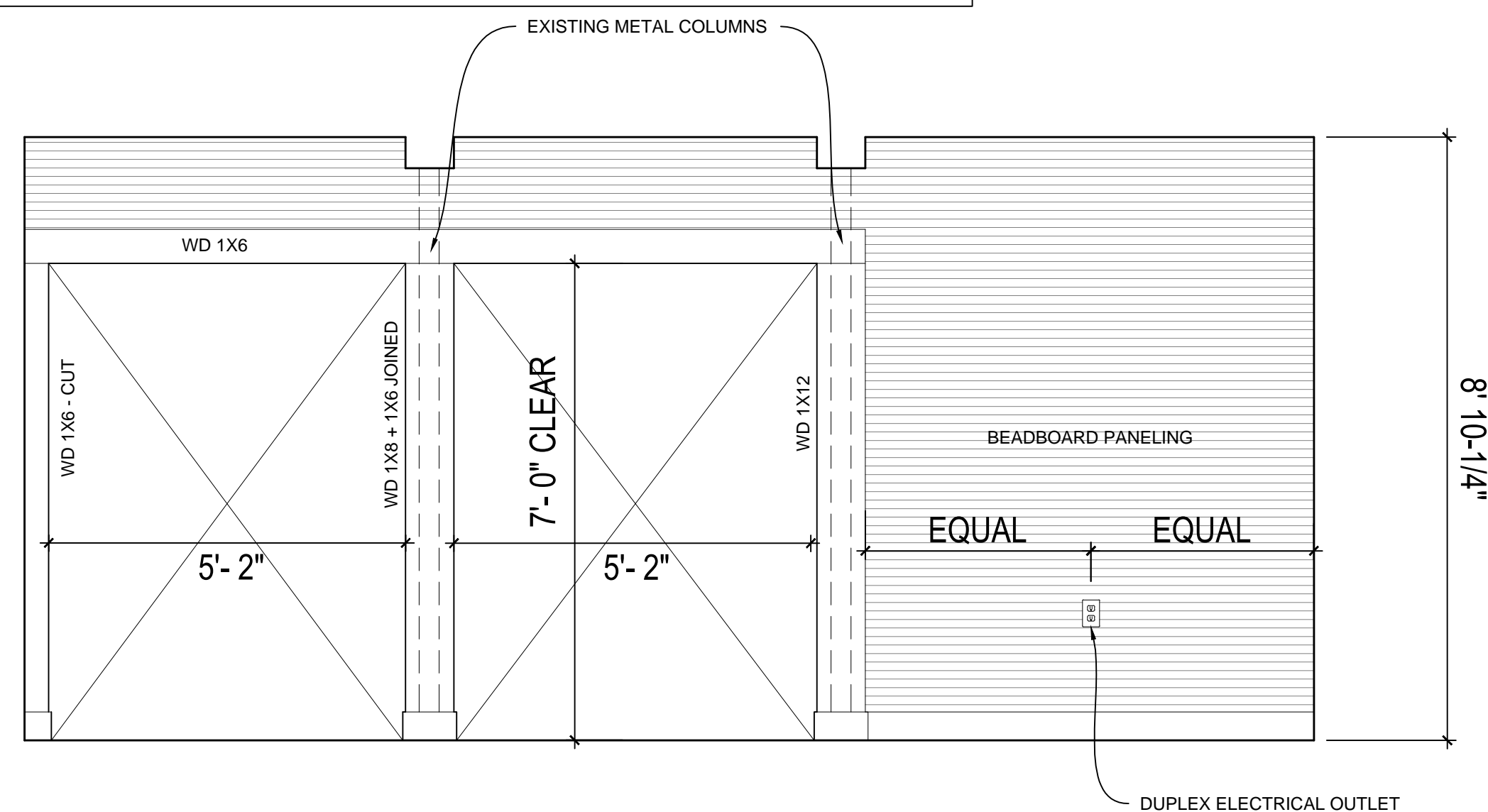


2 INTERIOR ELEVATION: MAIN FUNCTION SPACE - LOOKING SOUTH
1/2" = 1'-0"

- NOTES:**
1. EXISTING WOOD PANELING SHALL BE REMOVED IN THE CARRIAGE ROOM AND SPECIFIED WOOD PANELING INSTALLED
 2. ELECTRICAL RECEPTACLES IN CARRIAGE ROOM SHALL BE CENTERED UNDER WINDOW OR PAIR OF WINDOWS, UNLESS NOTED OTHERWISE
 3. WOOD WALL PANELING SHALL BE CLEAR FINISHED
 4. DOORS, WINDOWS, STAIR RAIL, RISERS, AND TRIM SHALL BE PAINTED

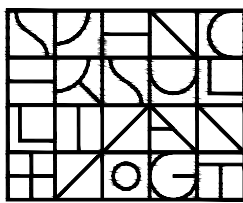


3 INTERIOR ELEVATION: MAIN FUNCTION SPACE - LOOKING EAST
1/2" = 1'-0"



4 INTERIOR ELEVATION: MAIN FUNCTION SPACE - LOOKING WEST
1/2" = 1'-0"

ARCHITECT:



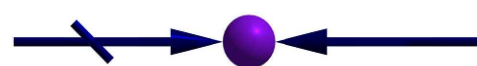
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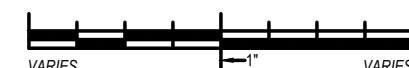
PROJECT: #1928.00

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THREE BUILDINGS**

*CARRIAGE HOUSE
INTERIOR REHABILITATION*

670R Massachusetts Avenue
Arlington, MA 02476

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#	DATE	DESCRIPTION

ISSUANCES:

SEAL:

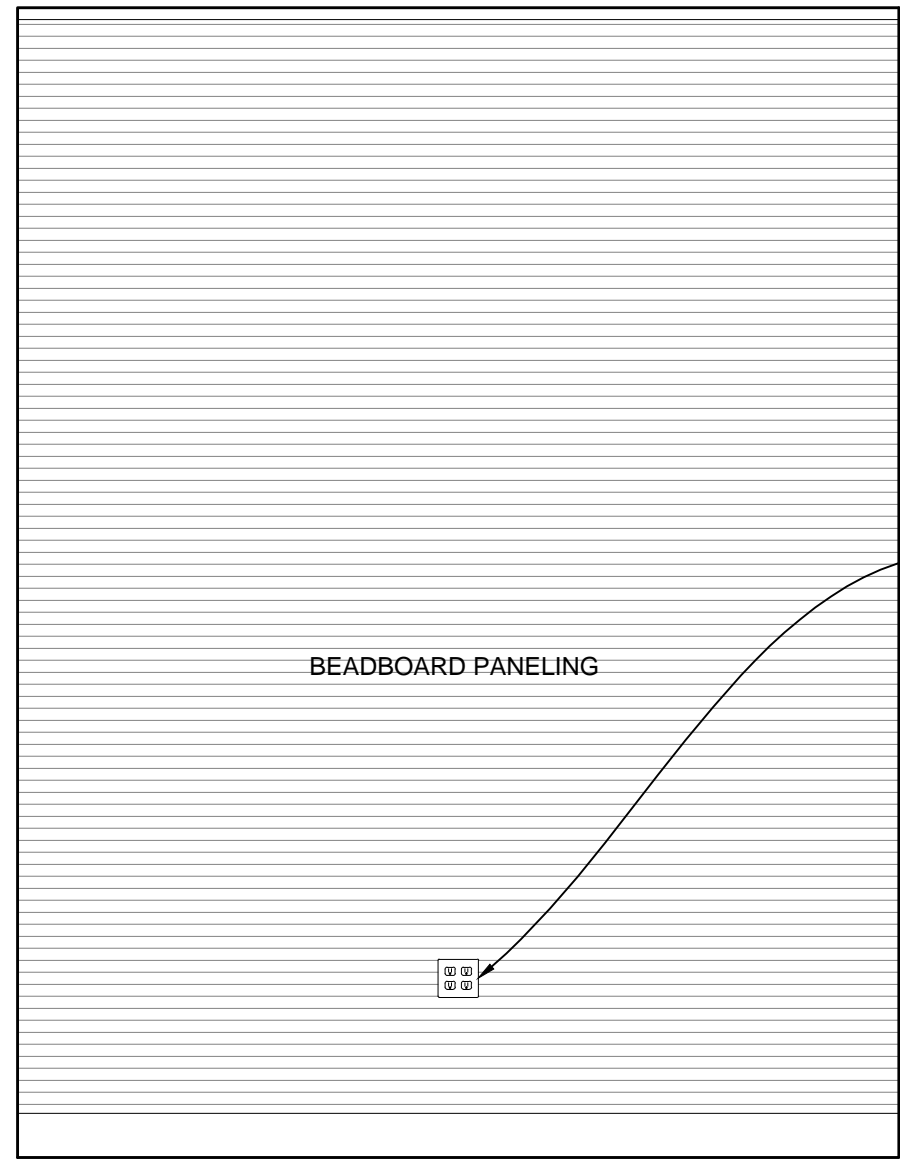
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**CARRIAGE HOUSE -
INTERIOR ELEVATIONS
SHEET 1 OF 2**

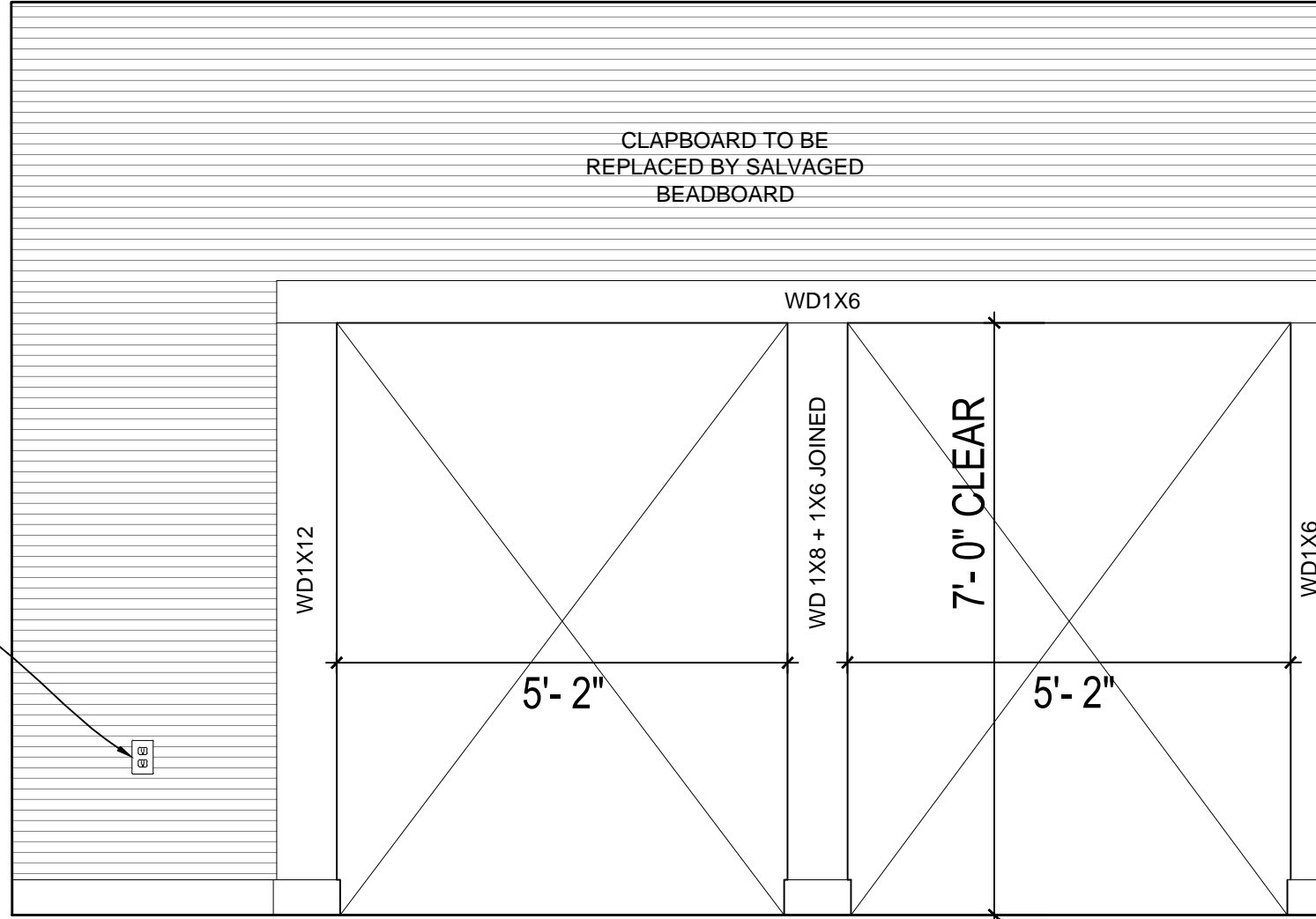
SHEET #:

A-305

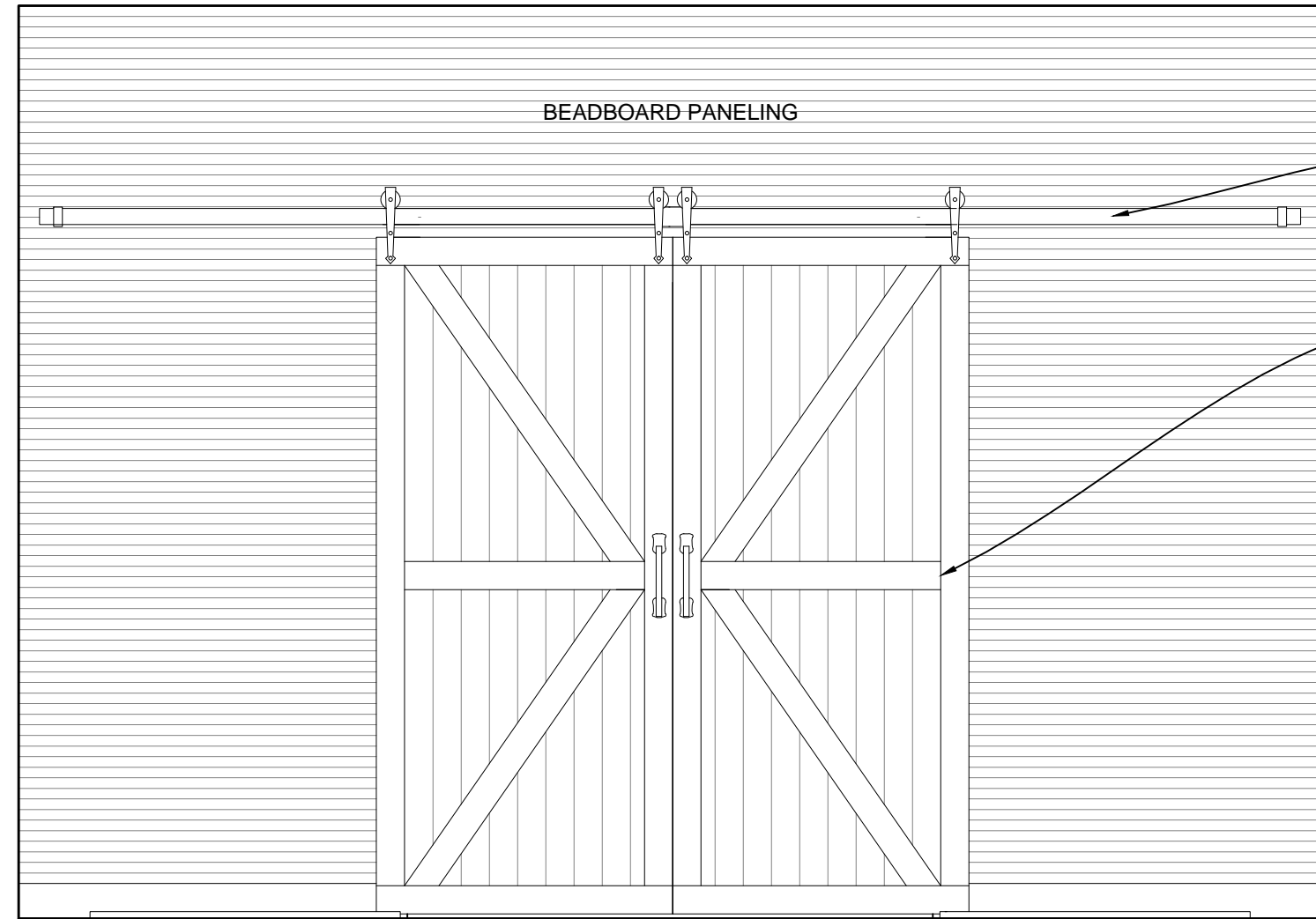
CONFIRM STUD LOCATIONS



5 INTERIOR SECTION IN MAIN HOUSE - LOOKING NORTH
1/2" = 1'-0"



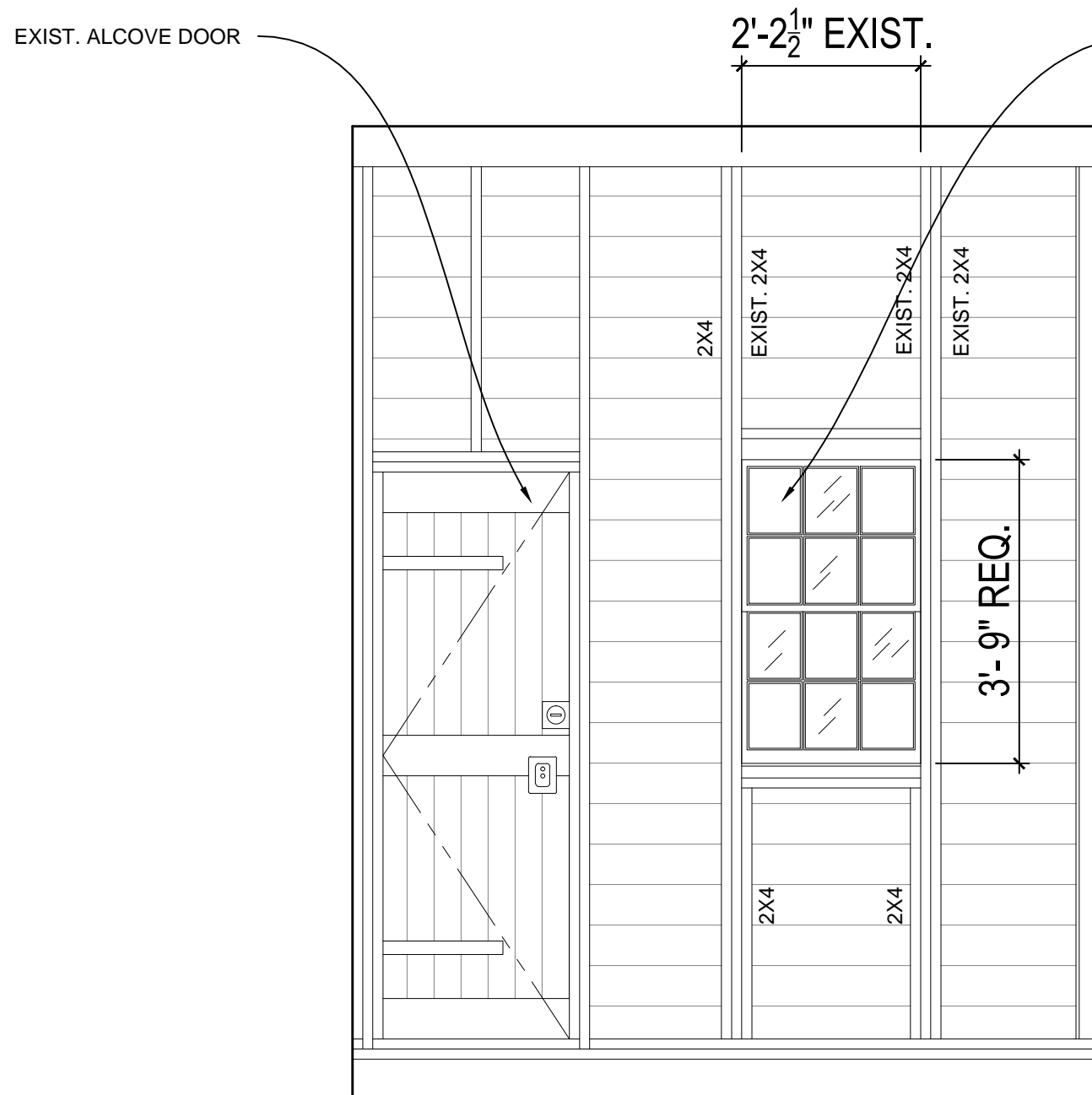
6 INTERIOR ELEVATION IN MAIN HOUSE - LOOKING SOUTH
1/2" = 1'-0"



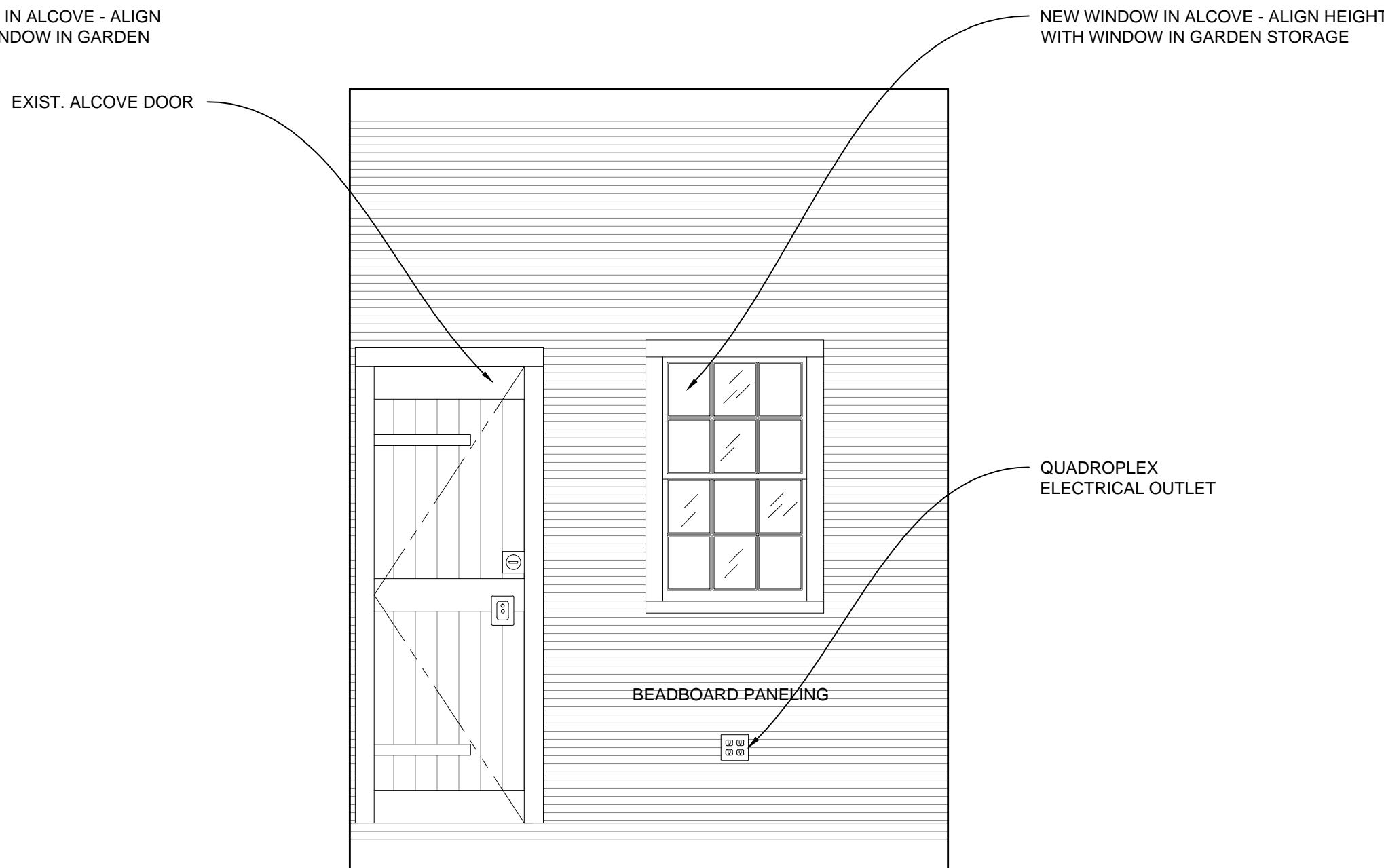
8A INTERIOR ELEVATION IN MAIN HOUSE - LOOKING WEST
1/2" = 1'-0"

NOTES:

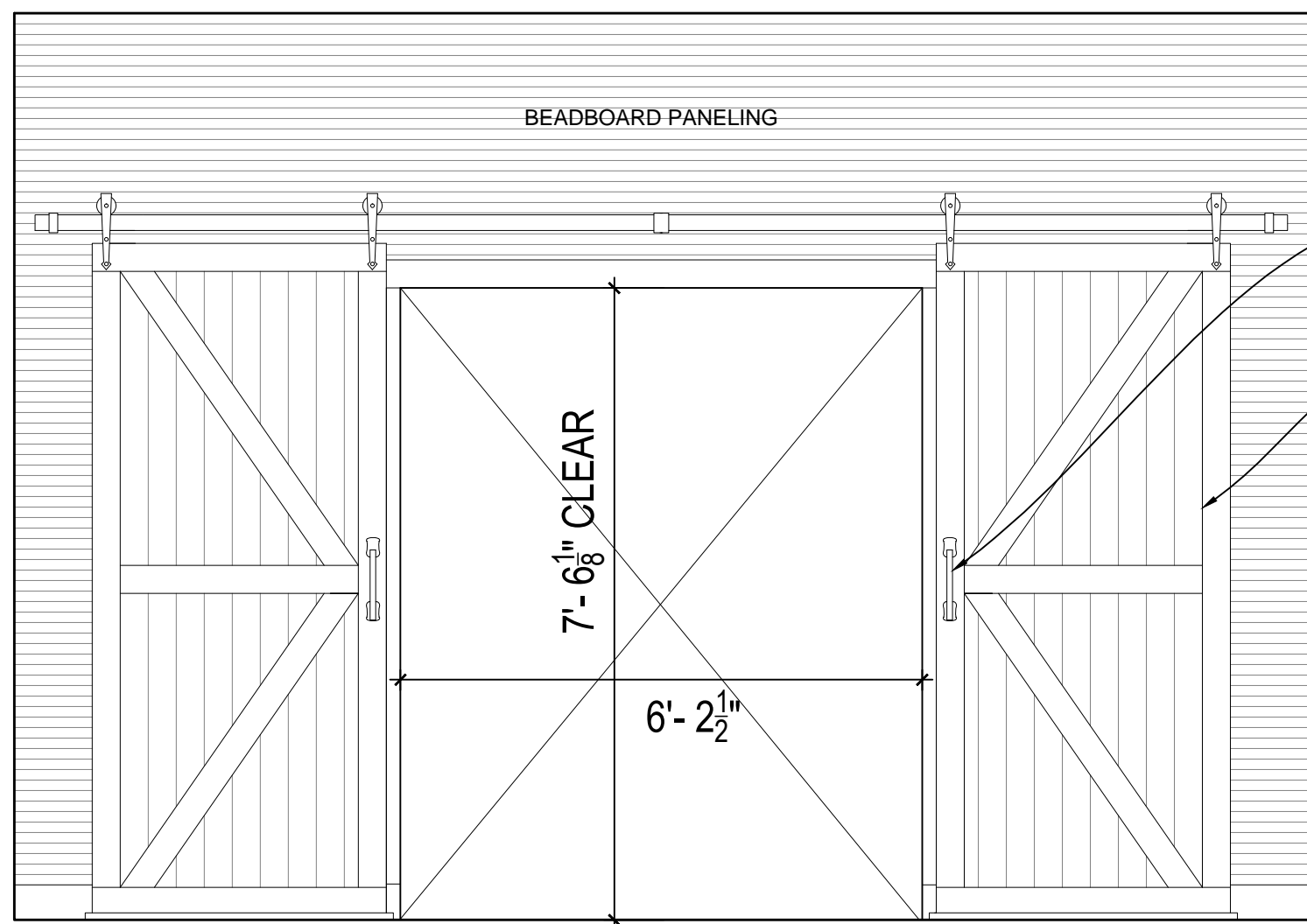
1. REPAIR EXISTING WOOD PANELING AND REPLACE WITH PREVIOUSLY SALVAGED BOARD STORED IN ATTIC, IF APPLICABLE.
2. ELECTRICAL RECEPTACLES IN CARRIAGE ROOM SHALL BE CENTERED UNDER WINDOW OR PAIR OF WINDOWS, UNLESS NOTED OTHERWISE.



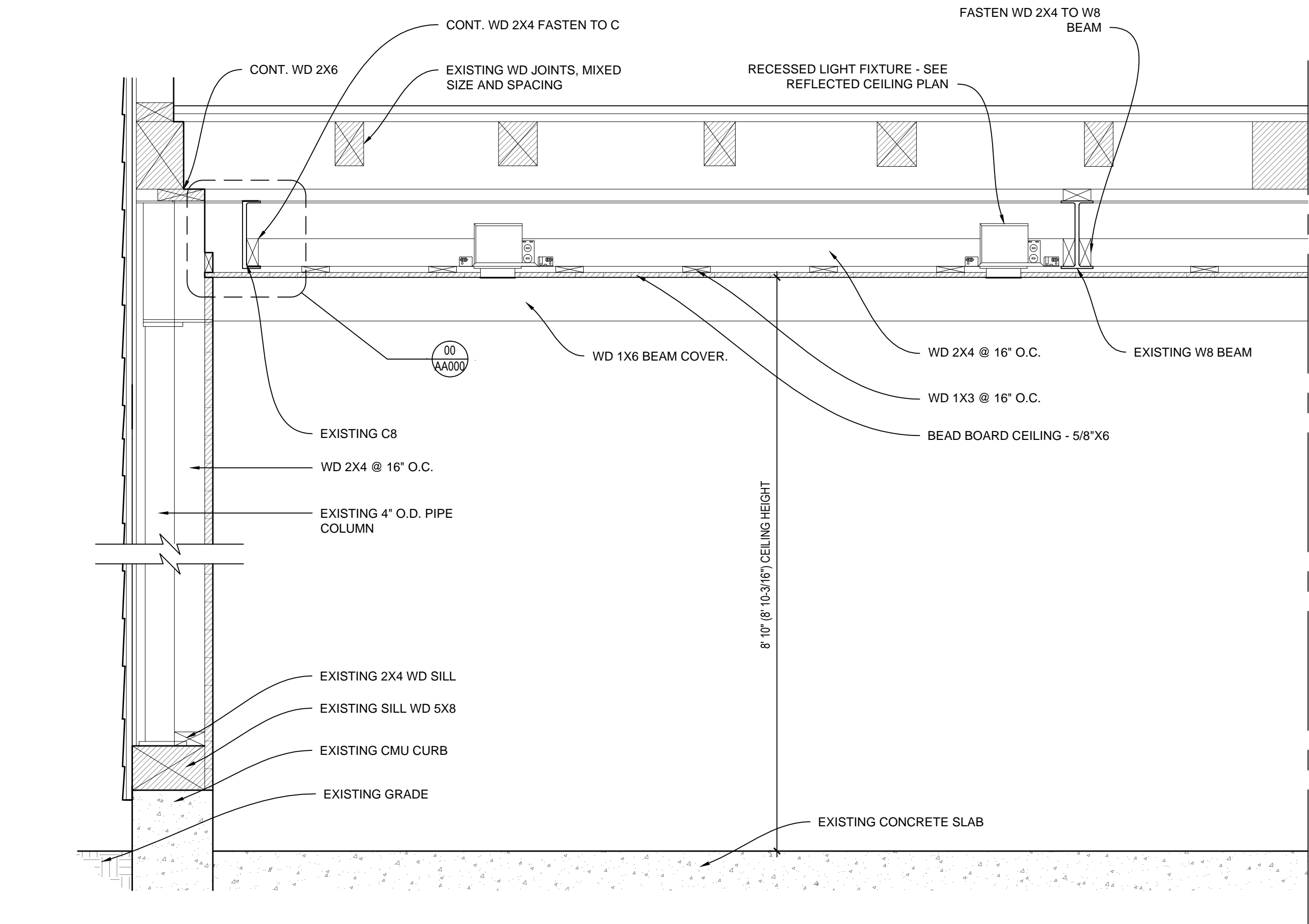
7A INTERIOR ELEVATION OF ALCOVE FRAMING - LOOKING EAST
1/2" = 1'-0"



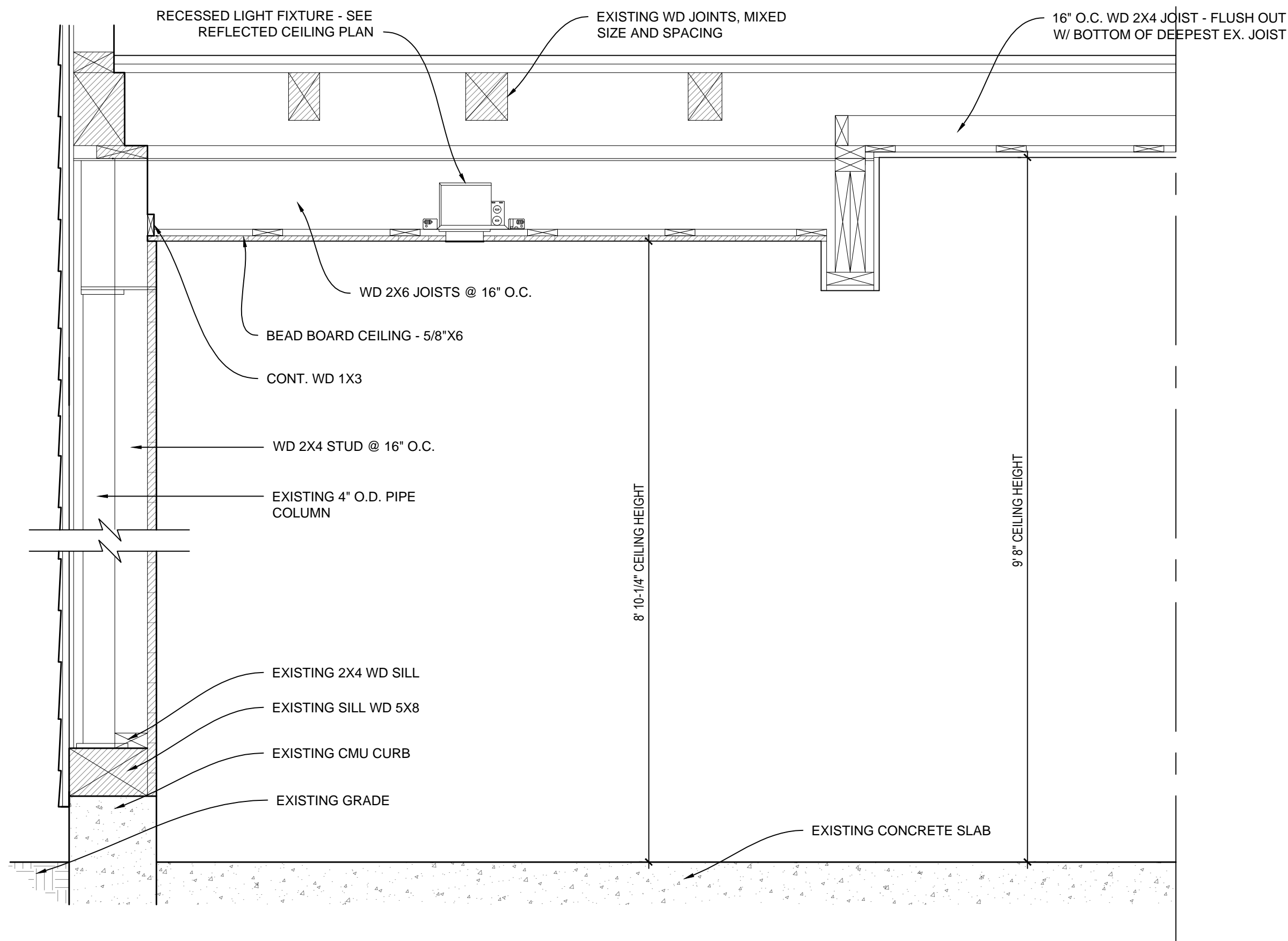
7B INTERIOR ELEVATION IN ALCOVE - LOOKING EAST
1/2" = 1'-0"



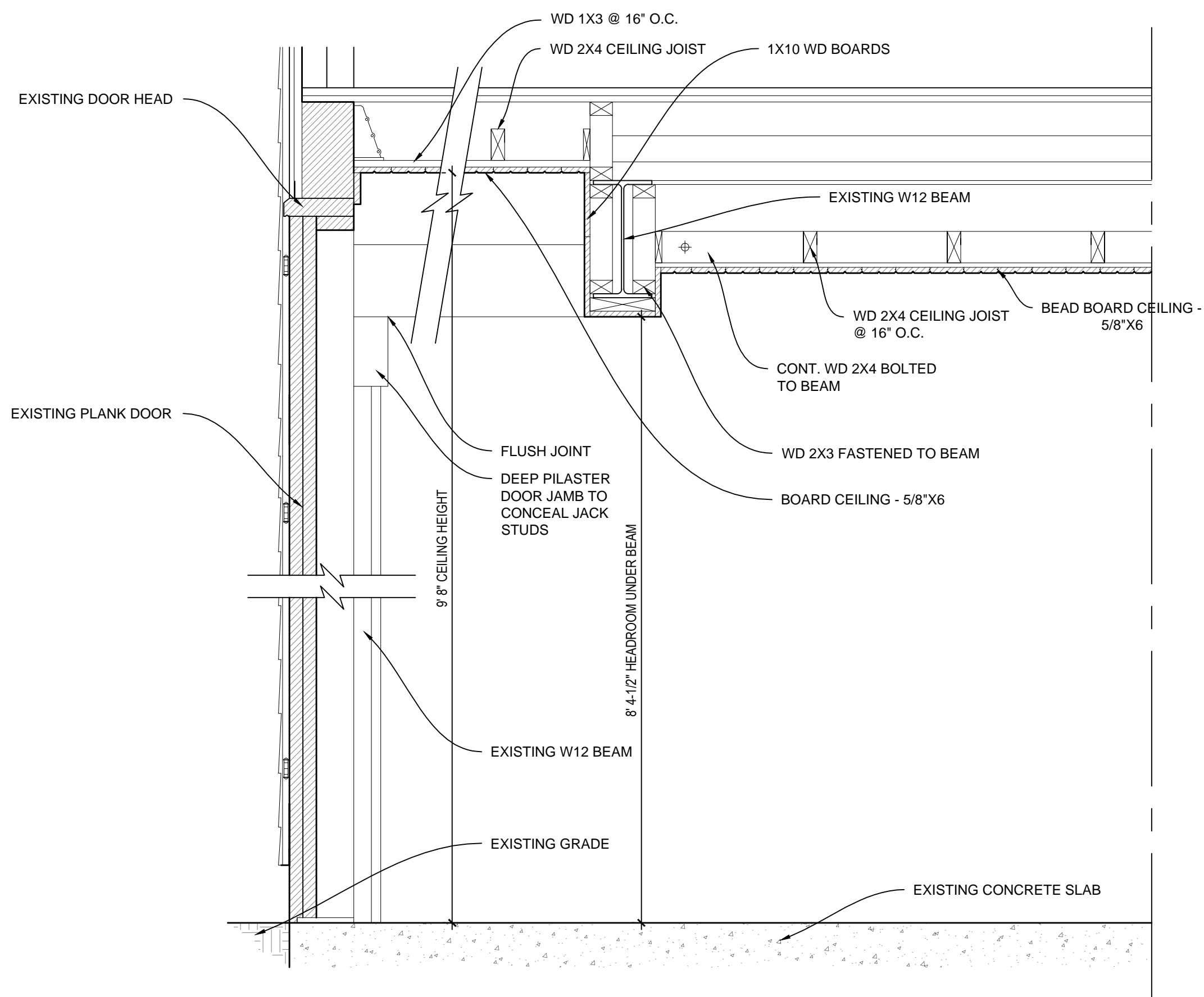
8B INTERIOR ELEVATION IN MAIN HOUSE - LOOKING WEST
1/2" = 1'-0"



1 SECTION A-A
1" = 1'-0"

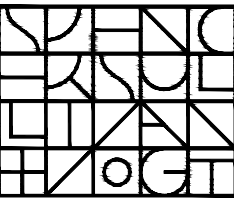


2 SECTION B-B
1" = 1'-0"



3 SECTION C-C
1" = 1'-0"

ARCHITECT:



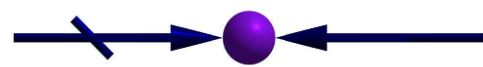
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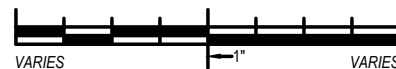
PROJECT: #1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS**

**CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



00 Xxx. 00, 0000 DESCRIPTION

DATE DESCRIPTION

ISSUANCES:

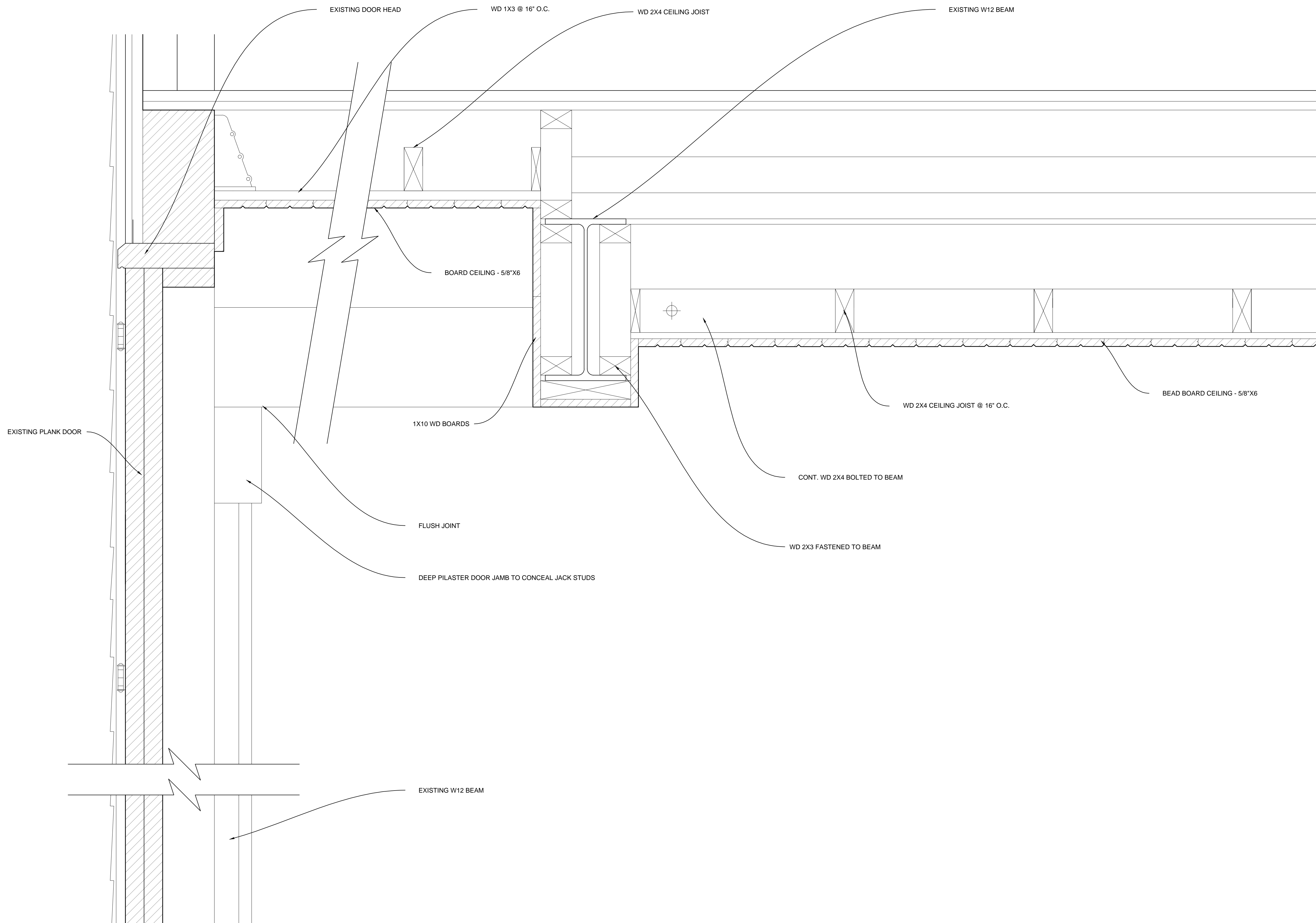
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SHEET TITLE:

**CARRIAGE HOUSE - LARGE
SCALE BUILDING/WALL
SECTIONS**

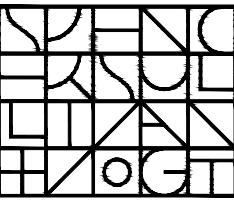
SHEET #:

A-307



1 SECTION C-C
3\"/>

ARCHITECT:



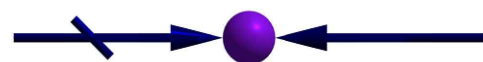
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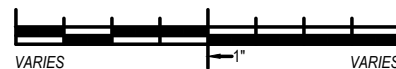
PROJECT: #1928.00

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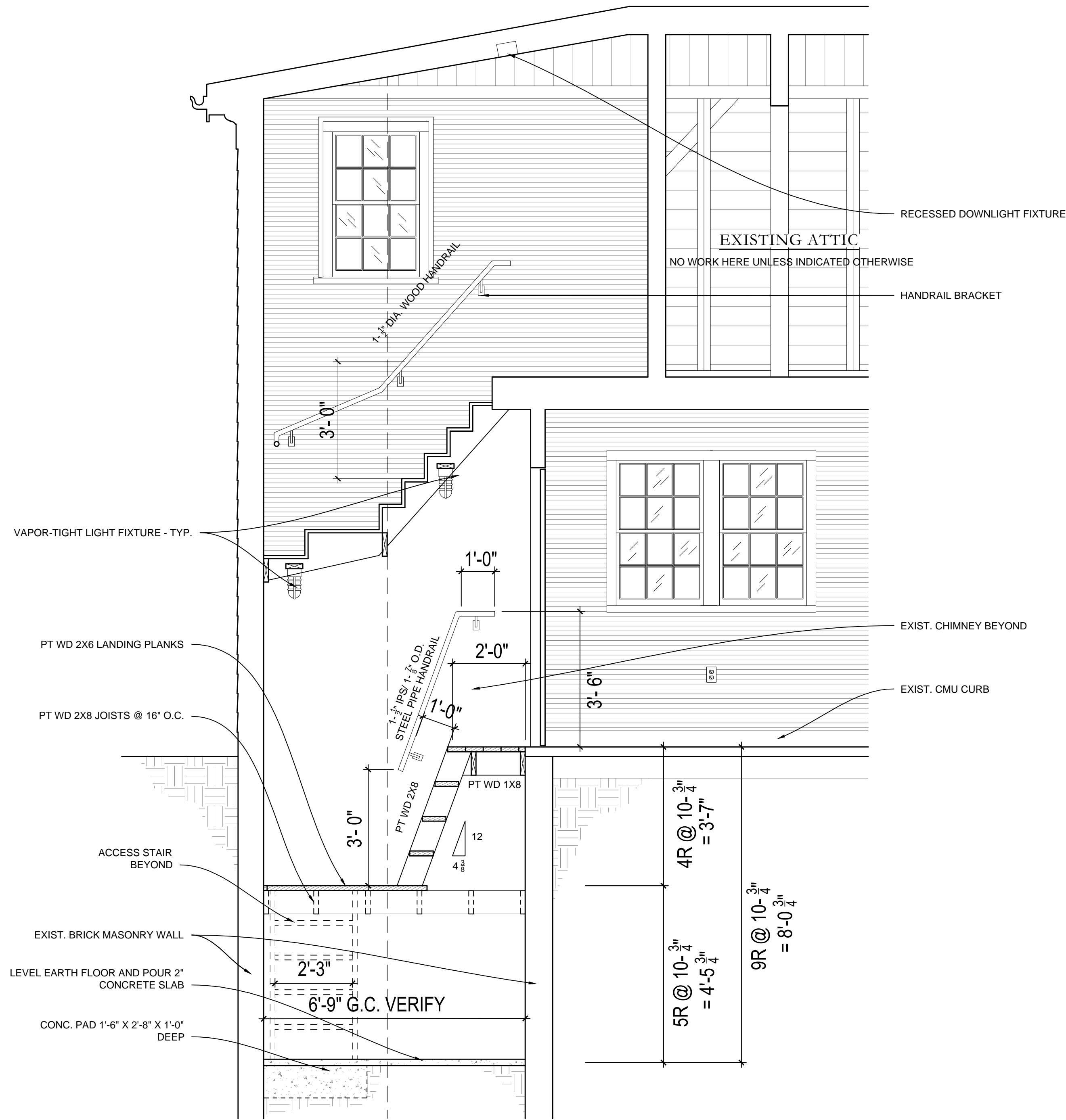
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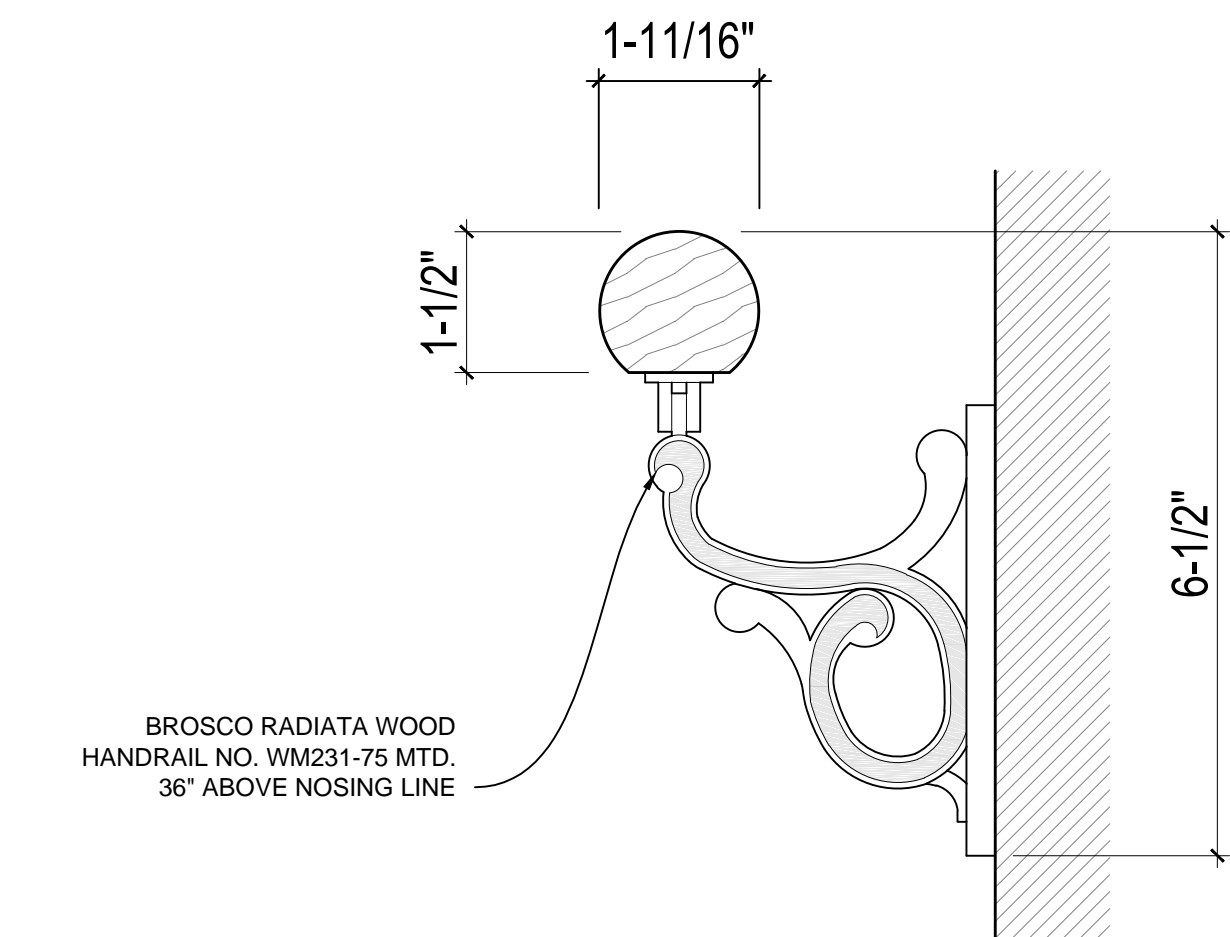
SHEET TITLE:
**CARRIAGE HOUSE -
CEILING DETAILS**

SHEET #:

A-308

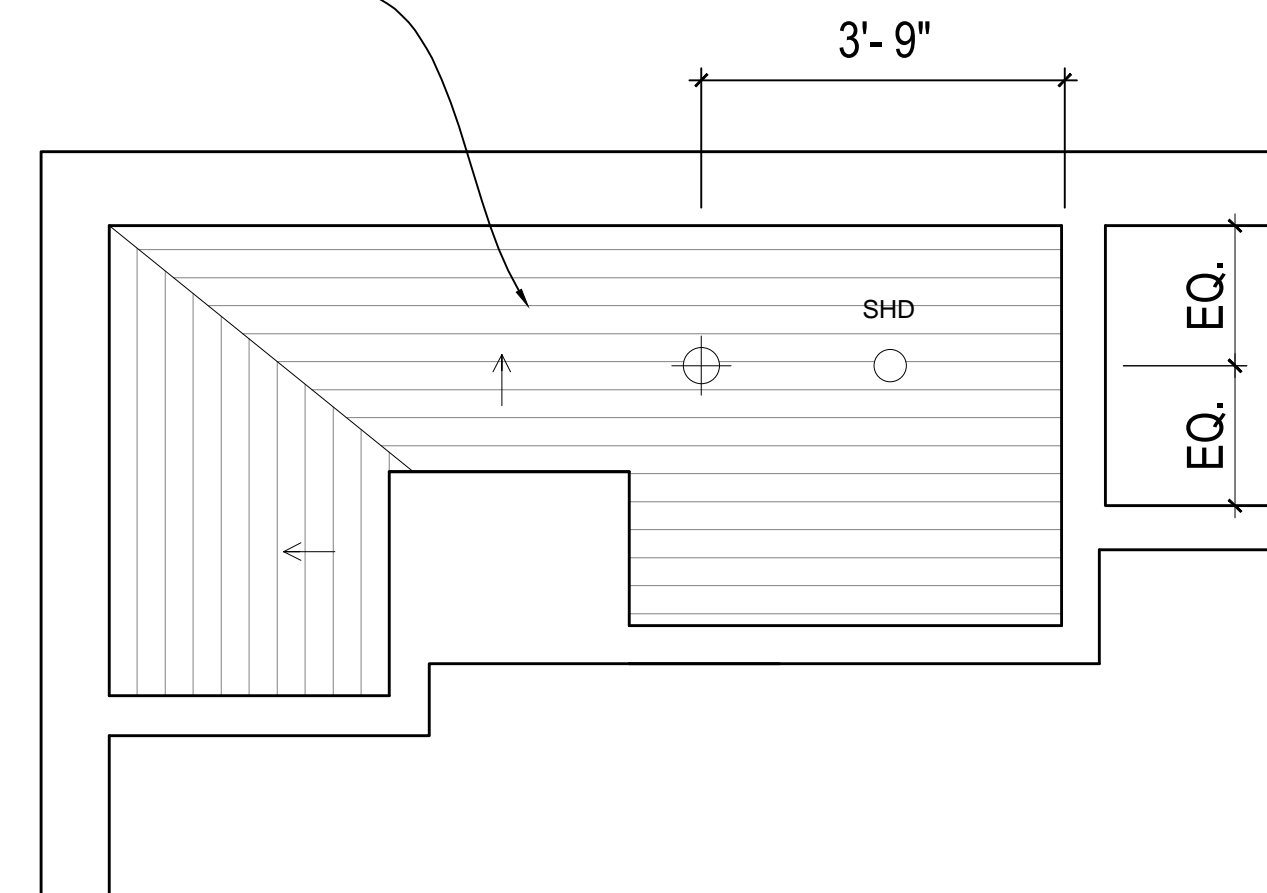


1 STAIR SECTION 1
1/2" = 1'-0"

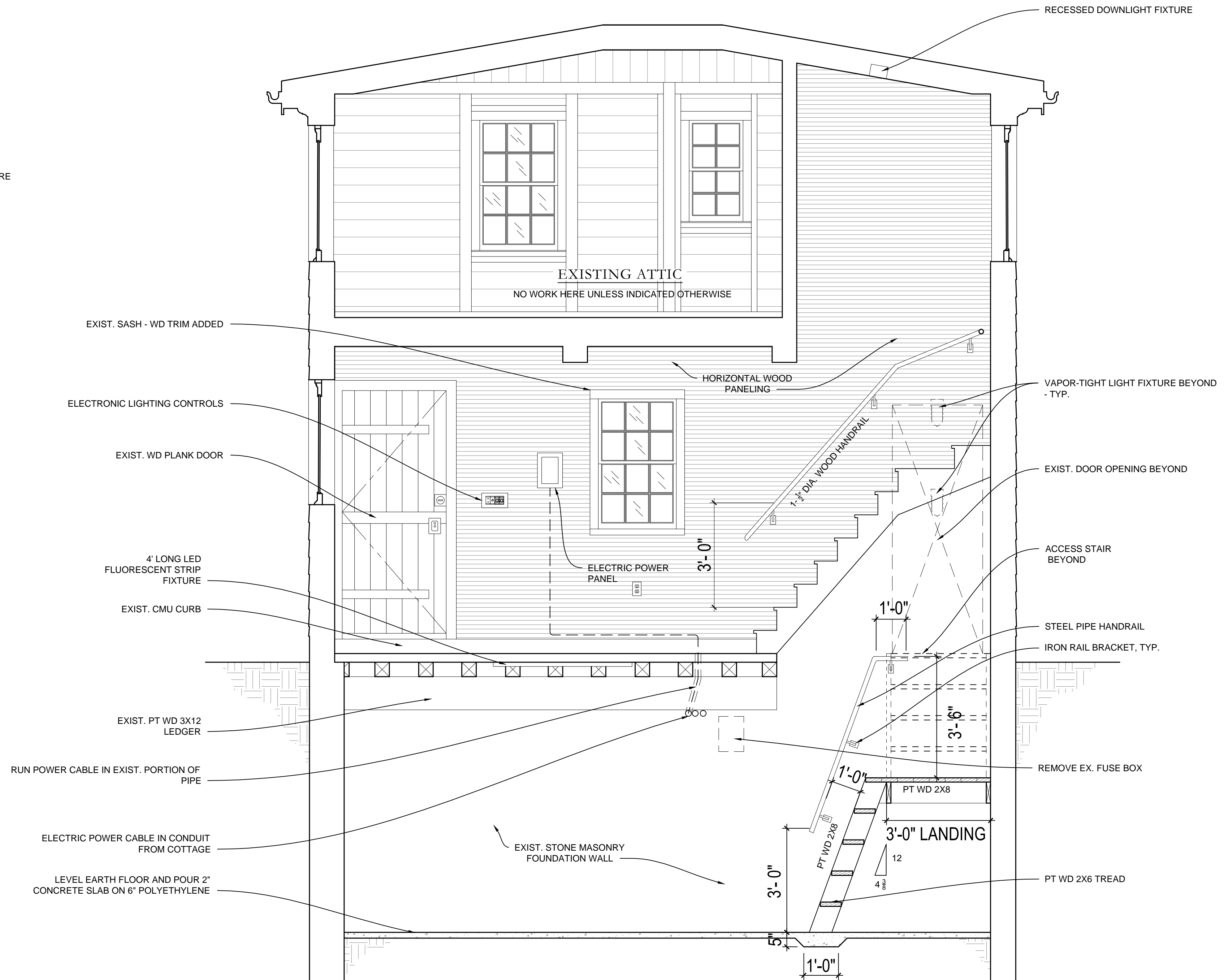


3 HANDRAIL DETAIL
6" = 1'-0"

SLOPED CEILING: PATCH EXIST. BOARD CEILING AS REQ'D
WITH SALVAGED CEILING/WALL BOARDS



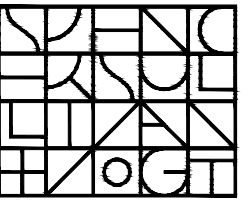
4 HALL RCP
1/2" = 1'-0"



2 STAIR SECTION 2
1/2" = 1'-0"

NOTE:
1. TEMPORARILY RAISE EXISTING CAST-IRON HEATER (SEE DWG. L-107) TO ALLOW FOR SLAB WORK.

ARCHITECT:



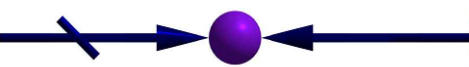
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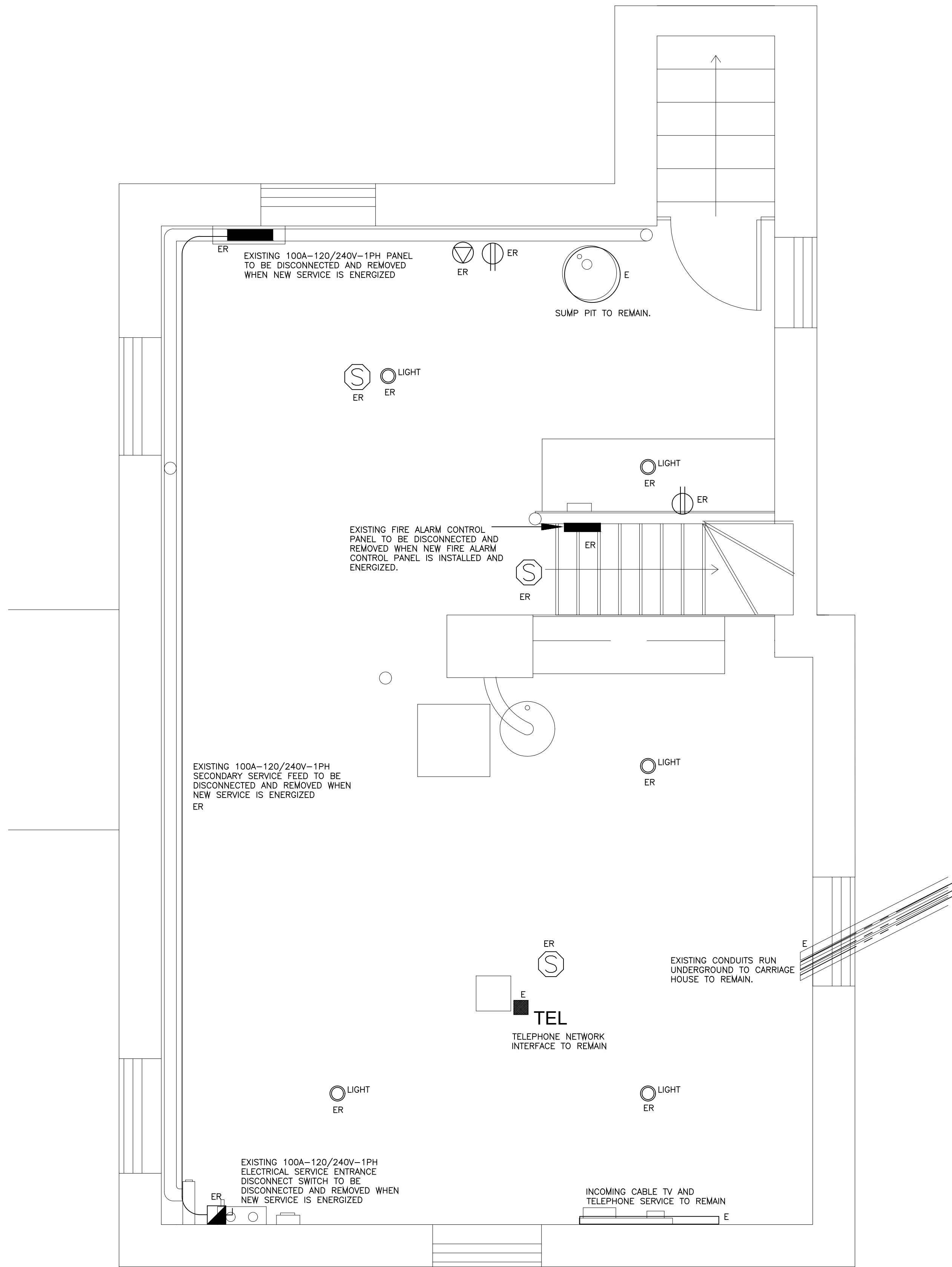


#	DATE	DESCRIPTION
00	Xxx. 00. 0000	DESCRIPTION
#	DATE	DESCRIPTION
ISSUANCES:		
SEAL:		

SHEET TITLE:
CARRIAGE HOUSE - STAIR
DETAILS

SHEET #:

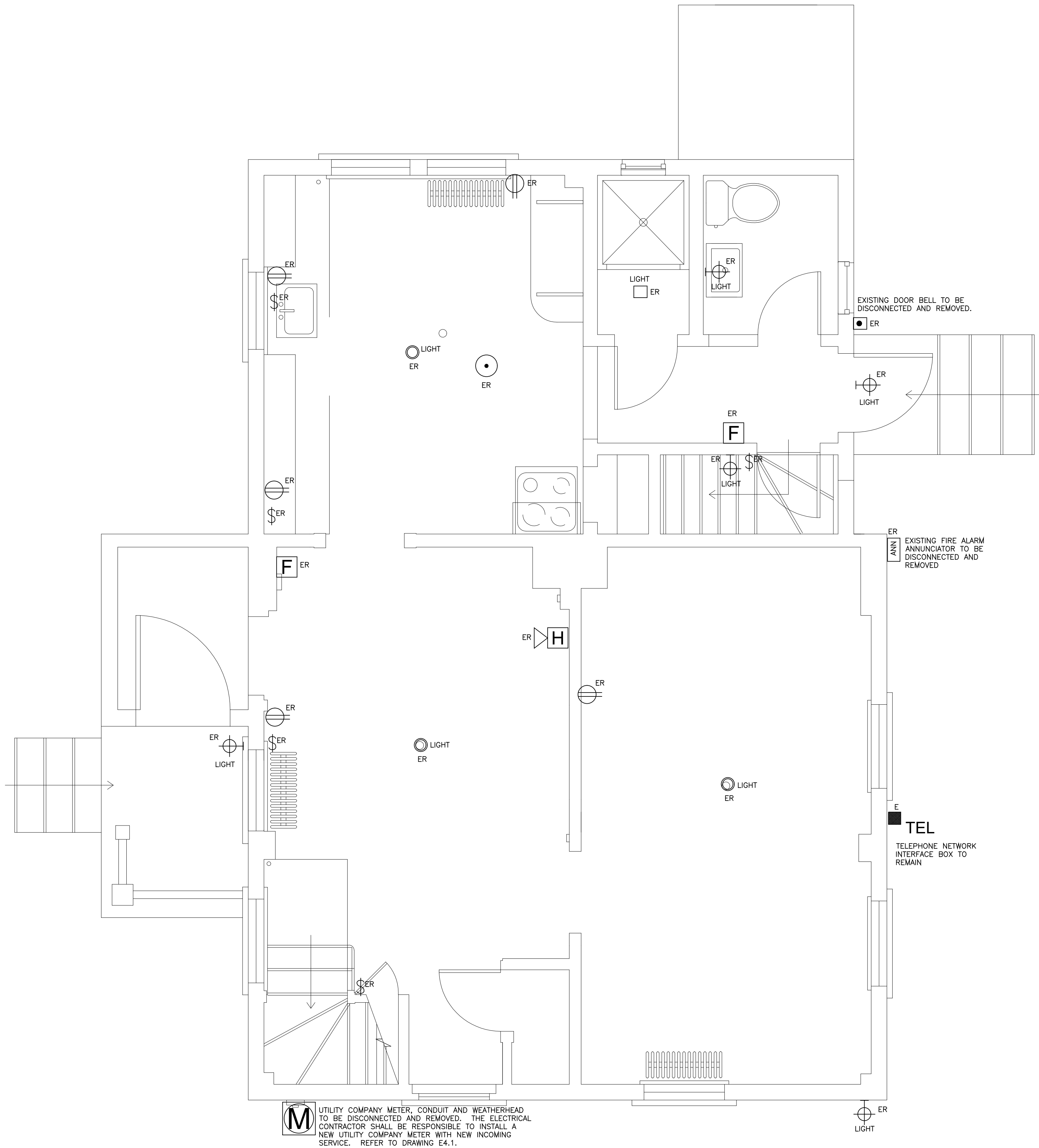
A-309



DEMO BASEMENT FLOOR PLAN - ELECTRICAL

Scale: 1/2"=1'-0"

REFER TO DRAWING ED1.2
FOR LEGEND AND NOTES

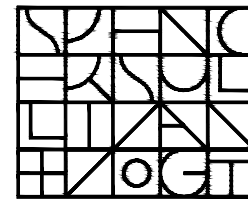


DEMO FIRST FLOOR PLAN - ELECTRICAL

Scale: 1/2"=1'-0"

REFER TO DRAWING ED1.2
FOR LEGEND AND NOTES

ARCHITECT:



Spencer, Sullivan & Vogt
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CONSULTANT:



SHEPHERD ENGINEERING, INC.
ELECTRICAL CONSULTANTS

1308 GRAFTON STREET
WORCESTER, MASSACHUSETTS 01604
PHONE: (508) 757-7793 • FAX: (508) 753-2309
REFERENCE NO.: 21169

OWNER:



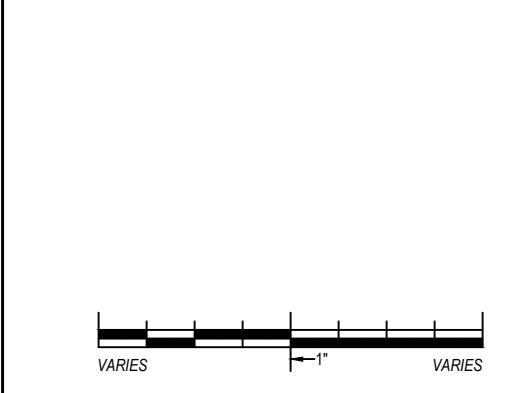
Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE/CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:

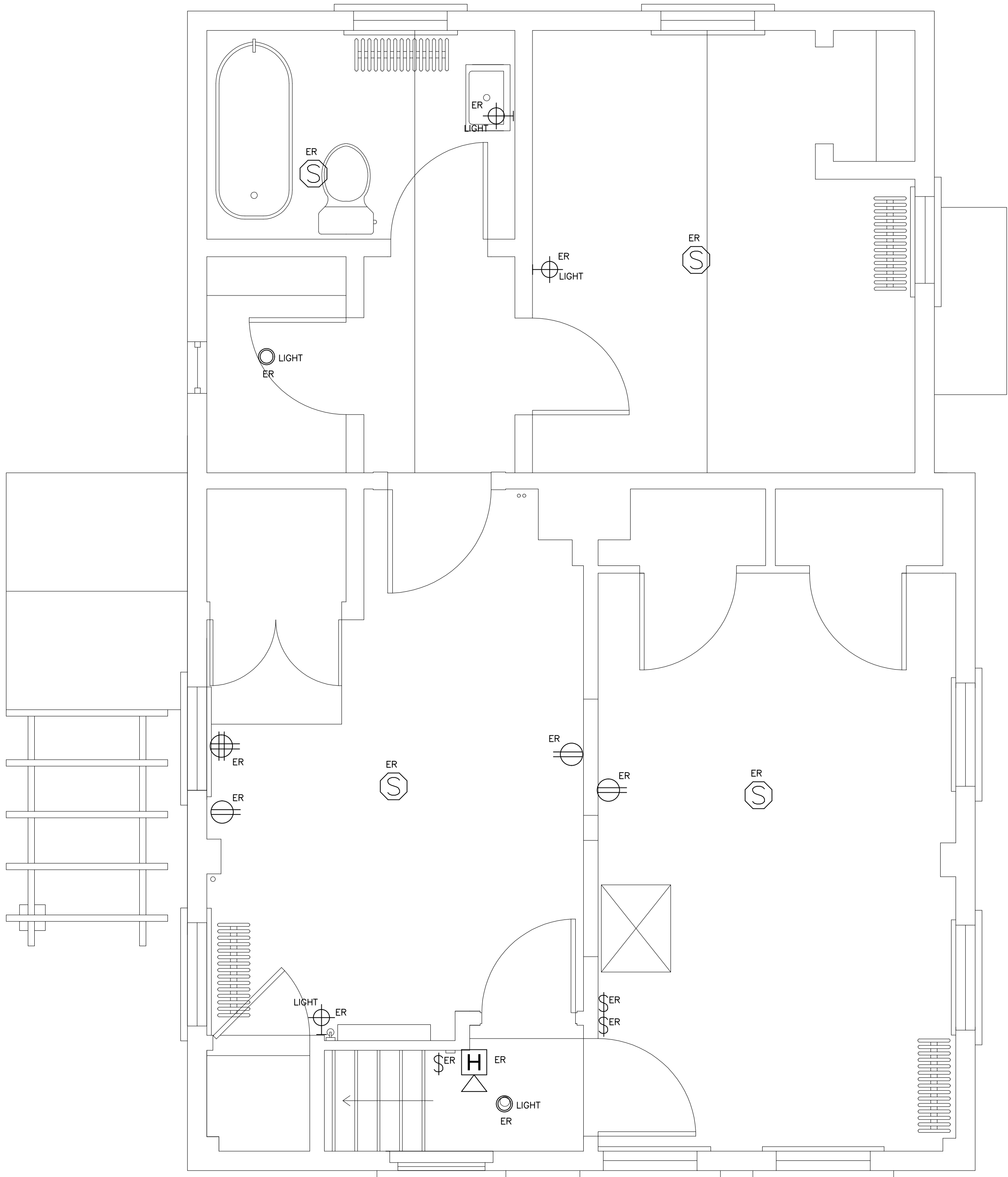
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SHEET TITLE:

**COTTAGE - DEMO
BASEMENT & FIRST FLOOR
PLANS - ELECTRICAL**

SHEET #:

ED.1



DEMO SECOND FLOOR PLAN - ELECTRICAL
Scale: 1/2"=1'-0"

DEMO LEGEND	
○ER	SURFACE LIGHT FIXTURE TO BE REMOVED
⊕ER	WALL-MOUNT LIGHT FIXTURE TO BE REMOVED
⌘ER	WALL LIGHT SWITCH TO BE REMOVED
⌈ER	EXISTING FIRE ALARM PULL STATION TO BE REMOVED
⊙ER	EXISTING FIRE ALARM SMOKE DETECTOR TO BE REMOVED
⊠ER	EXIST. HORN/STROBE TO BE TEMPORARILY REMOVED AND REINSTALLED
⌈ANNER	EXISTING FIRE ALARM ANNUNCIATOR TO BE REMOVED
■ER	EXISTING FIRE ALARM CONTROL PANEL TO BE REMOVED
■ER	EXISTING POWER PANEL TO BE DISCONNECTED AND REMOVED
⌈DER	EXISTING DISCONNECT SWITCH TO BE DISCONNECTED AND REMOVED
FACP	FIRE ALARM CONTROL PANEL
E	EXISTING TO REMAIN
ER	EXISTING TO BE DISCONNECTED AND REMOVED BACK TO ITS SOURCE
EC	ELECTRICAL CONTRACTOR
GC	GENERAL CONTRACTOR

DEMOLITION NOTES:

NOTE 1:

THE EQUIPMENT SHOWN IS TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY. IT SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO REVIEW THE SITE AND TO COORDINATE WITH THE GENERAL CONTRACTOR TO DETERMINE THE AMOUNT AND PHASING OF DEMOLITION WORK REQUIRED.

NOTE 2:

THIS CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ELECTRICAL EQUIPMENT BEING REMOVED BY THE GENERAL/DEMOLITION CONTRACTOR IS TAGGED AND MADE ELECTRICALLY SAFE. CUT ALL CABLES FROM THE PANEL AND AT THE EQUIPMENT TO ENSURE SAFE REMOVAL.

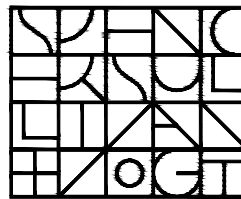
NOTE 3:

IN THE EVENT THAT A DEVICE BEING REMOVED CAUSES ANOTHER DEVICE REMAINING NOT TO OPERATE, IT SHALL BE THIS CONTRACTORS RESPONSIBILITY TO RECONNECT THE EQUIPMENT REMAINING BACK TO ITS SOURCE.

DEMOLITION LEGEND

"E"	EXISTING TO REMAIN
"ER"	EXISTING TO BE DISCONNECTED AND REMOVE
"ERR"	EXISTING TO BE TEMPORARILY DISCONNECTED AND REINSTALLED

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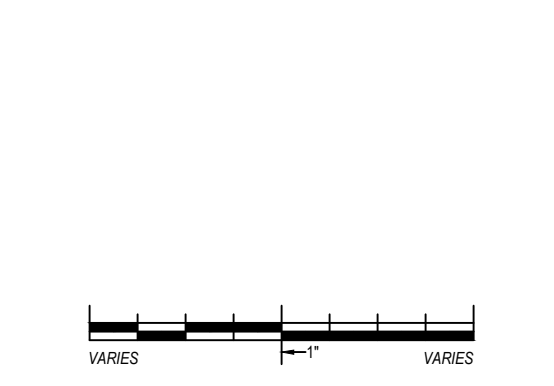
Town of Arlington
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PROJECT: #1928.00

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00	Xxx.00, 0000	DESCRIPTION
#	DATE	DESCRIPTION

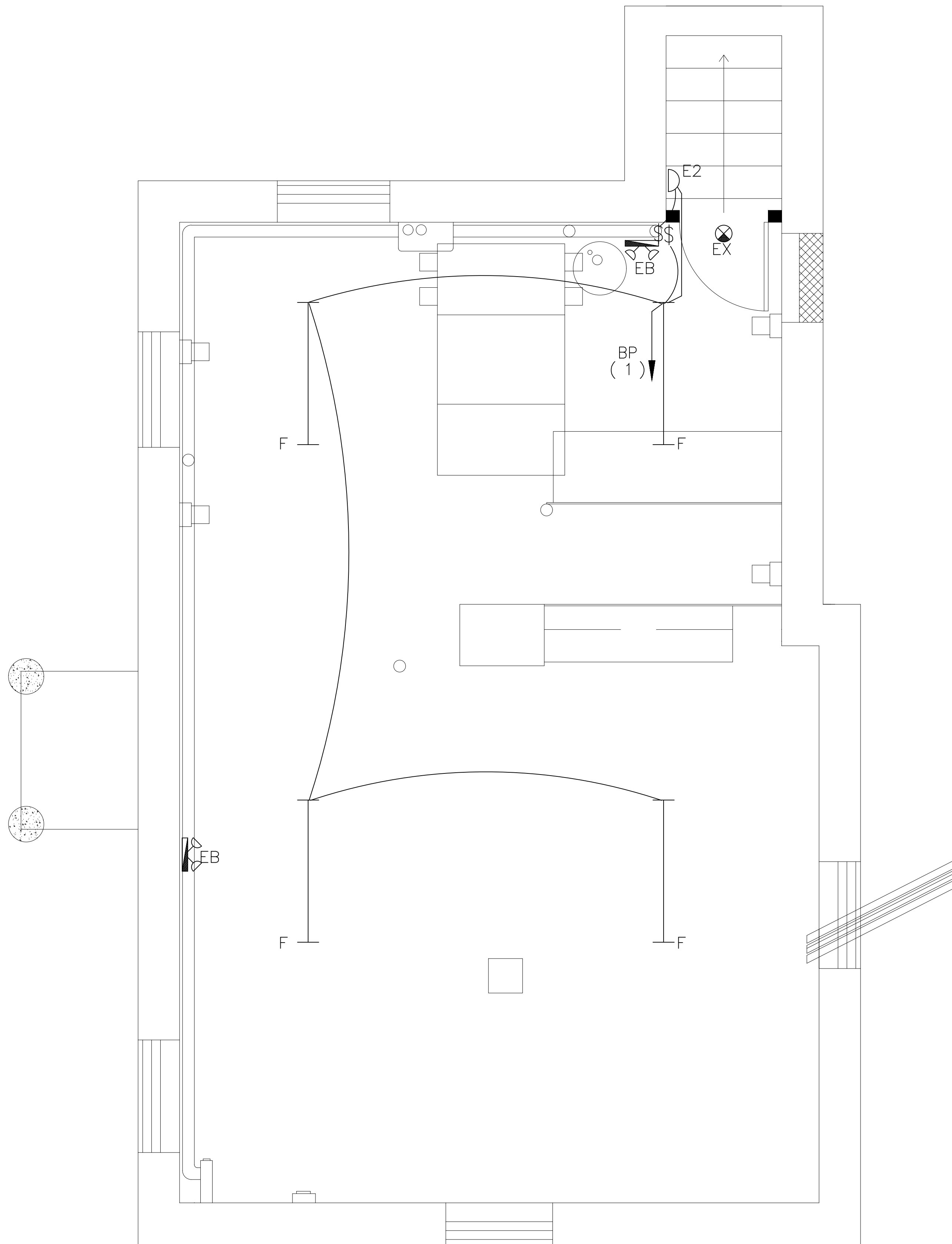
ISSUANCES:

SEAL:

SHEET TITLE:
COTTAGE - DEMO SECOND
& ATTIC FLOOR PLANS-
ELECTRICAL

SHEET #:

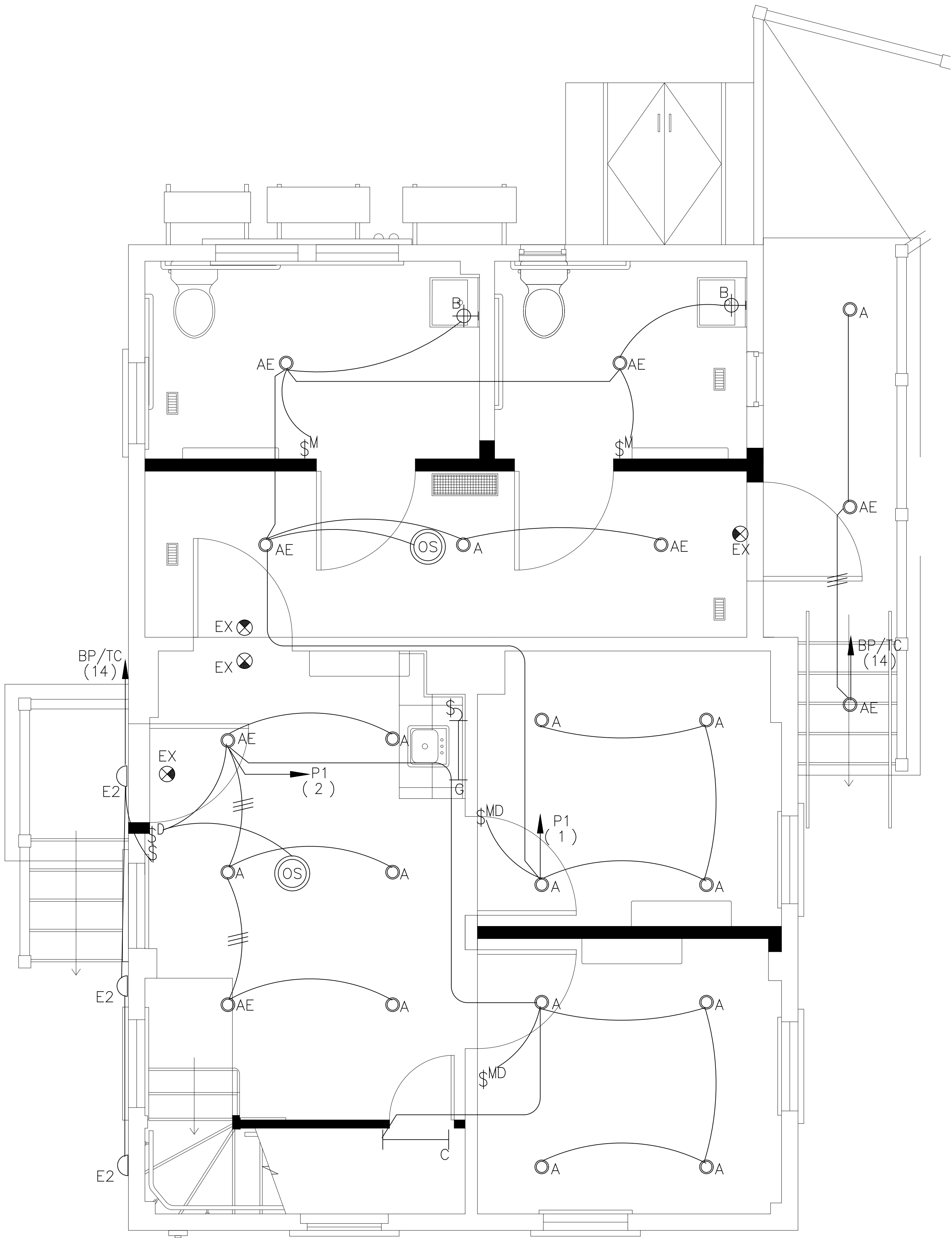
ED.2



BASEMENT FLOOR PLAN - LIGHTING

Scale: 1/2"=1'-0"

NOTE:
EXIT SIGNS AND EMERGENCY BATTERY
UNITS ARE TO BE CONNECTED TO THE
LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.



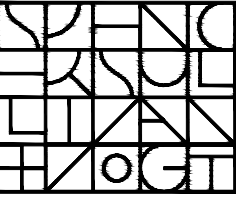
FIRST FLOOR PLAN - LIGHTING

Scale: 1/2"=1'-0"

NOTE:
EXIT SIGNS AND EMERGENCY BATTERY
UNITS ARE TO BE CONNECTED TO THE
LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.


NOTE:
FURNISH AND INSTALL A CONSTANT VOLTAGE
CIRCUIT FOR ALL LIGHTING FIXTURES WITH
INTERNAL EMERGENCY DRIVERS.

ARCHITECT:




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**WHITTEMORE-ROBBINS
ESTATE
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INTERIOR REHABILITATION**
670R Massachusetts Avenue
Arlington, MA 02476

KEY:



VARES 1'-0" VARES

#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

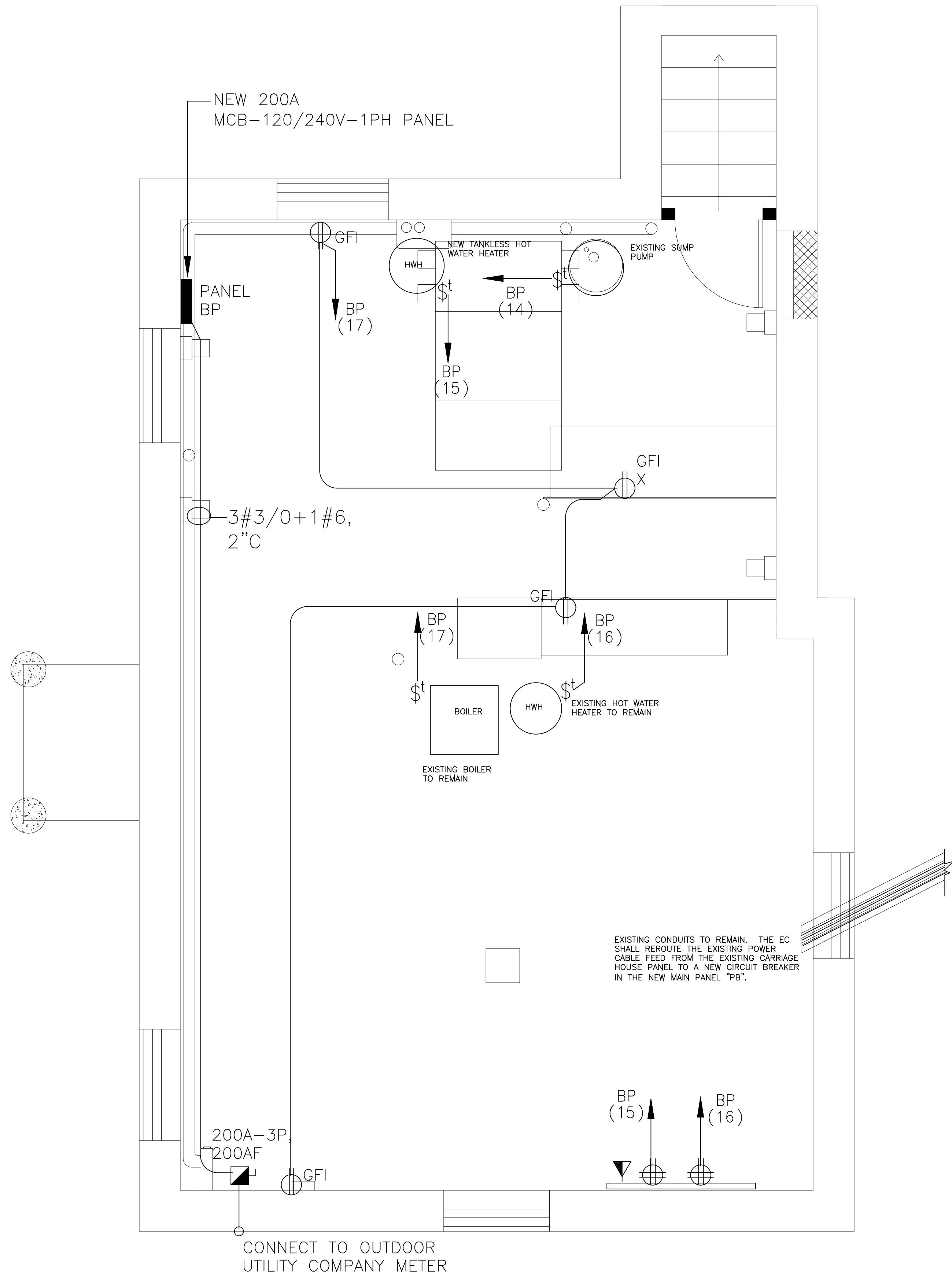
ISSUANCES:
SEAL:

SHEET TITLE:

**COTTAGE - BASEMENT &
FIRST FLOOR PLANS
LIGHTING**

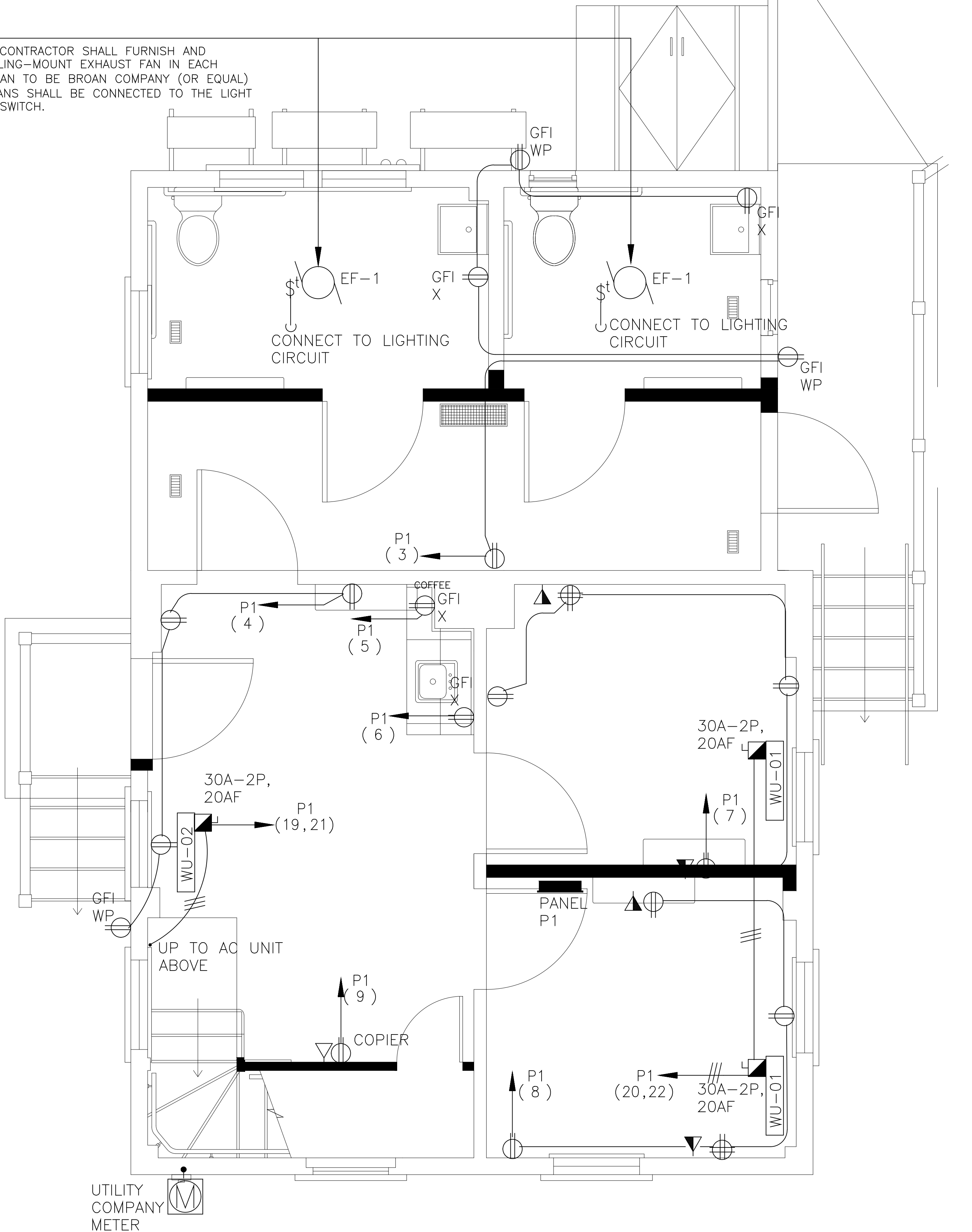
SHEET #:

E1.1

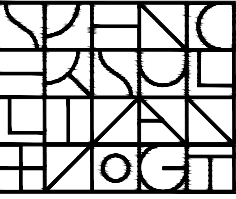



BASEMENT FLOOR PLAN - POWER
Scale: 1/2"=1'-0"


NOTE:
THE ELECTRICAL CONTRACTOR SHALL FURNISH AND
INSTALL NEW CEILING-MOUNT EXHAUST FAN IN EACH
TOILET ROOM. FAN TO BE BROAN COMPANY (OR EQUAL)
#AE50110DC. FANS SHALL BE CONNECTED TO THE LIGHT
MOTION SENSOR SWITCH.




FIRST FLOOR PLAN - POWER
Scale: 1/2"=1'-0"

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OWNER:

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PROJECT: #1928.00
**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
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INTERIOR REHABILITATION**
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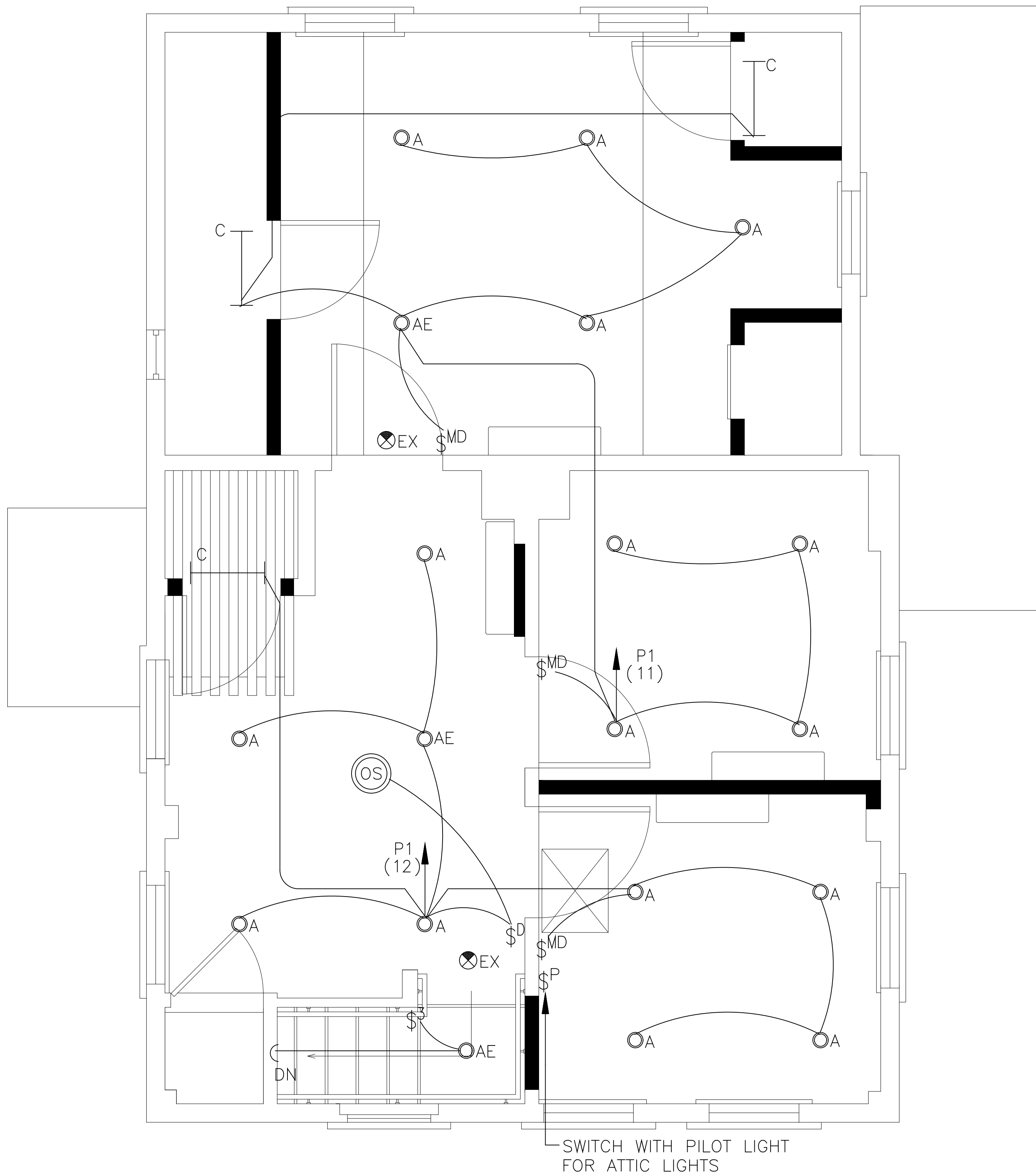
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VARIES 1'-0" VARIES

#	DATE	DESCRIPTION
00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:
SEAL:

SHEET TITLE:
**COTTAGE - BASEMENT &
FIRST FLOOR PLANS
POWER**

SHEET #:
E1.2

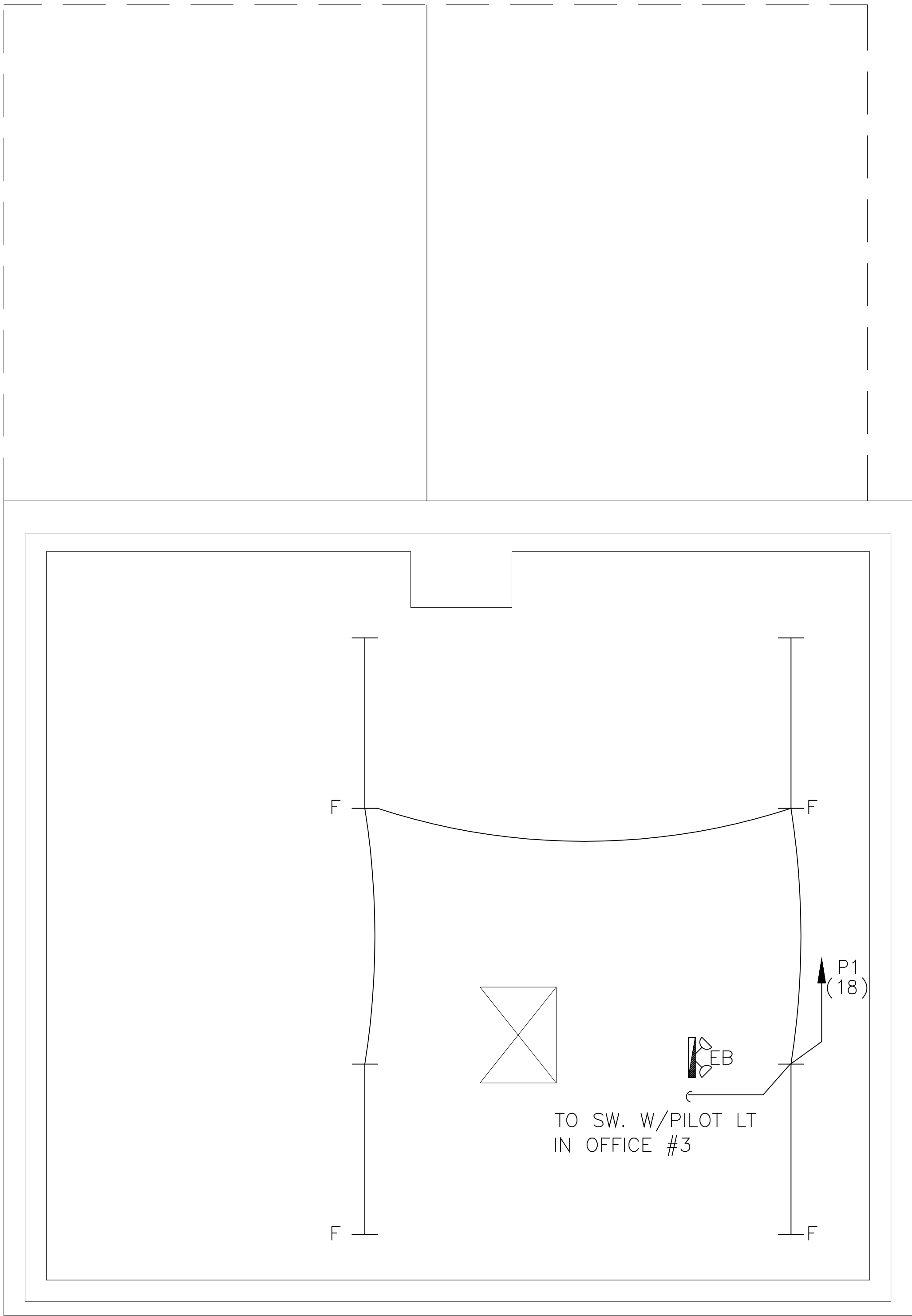


SECOND FLOOR PLAN - LIGHTING

Scale: 1/2"=1'-0"

NOTE:
EXIT SIGNS AND EMERGENCY BATTERY
UNITS ARE TO BE CONNECTED TO THE
LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.

NOTE:
FURNISH AND INSTALL A CONSTANT VOLTAGE
CIRCUIT FOR ALL LIGHTING FIXTURES WITH
INTERNAL EMERGENCY DRIVERS.

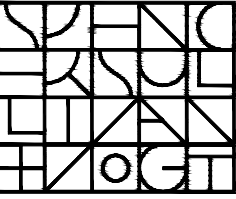


ATTIC FLOOR PLAN - LIGHTING

Scale: 1/2"=1'-0"

NOTE:
EXIT SIGNS AND EMERGENCY BATTERY
UNITS ARE TO BE CONNECTED TO THE
LINE SIDE OF THE LOCAL LIGHTING CIRCUIT.


ARCHITECT:



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REFERENCE NO.: 21169

OWNER:



Town of Arlington
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Arlington, MA 02476-4906


PROJECT:

#1928.00

**WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE/CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:



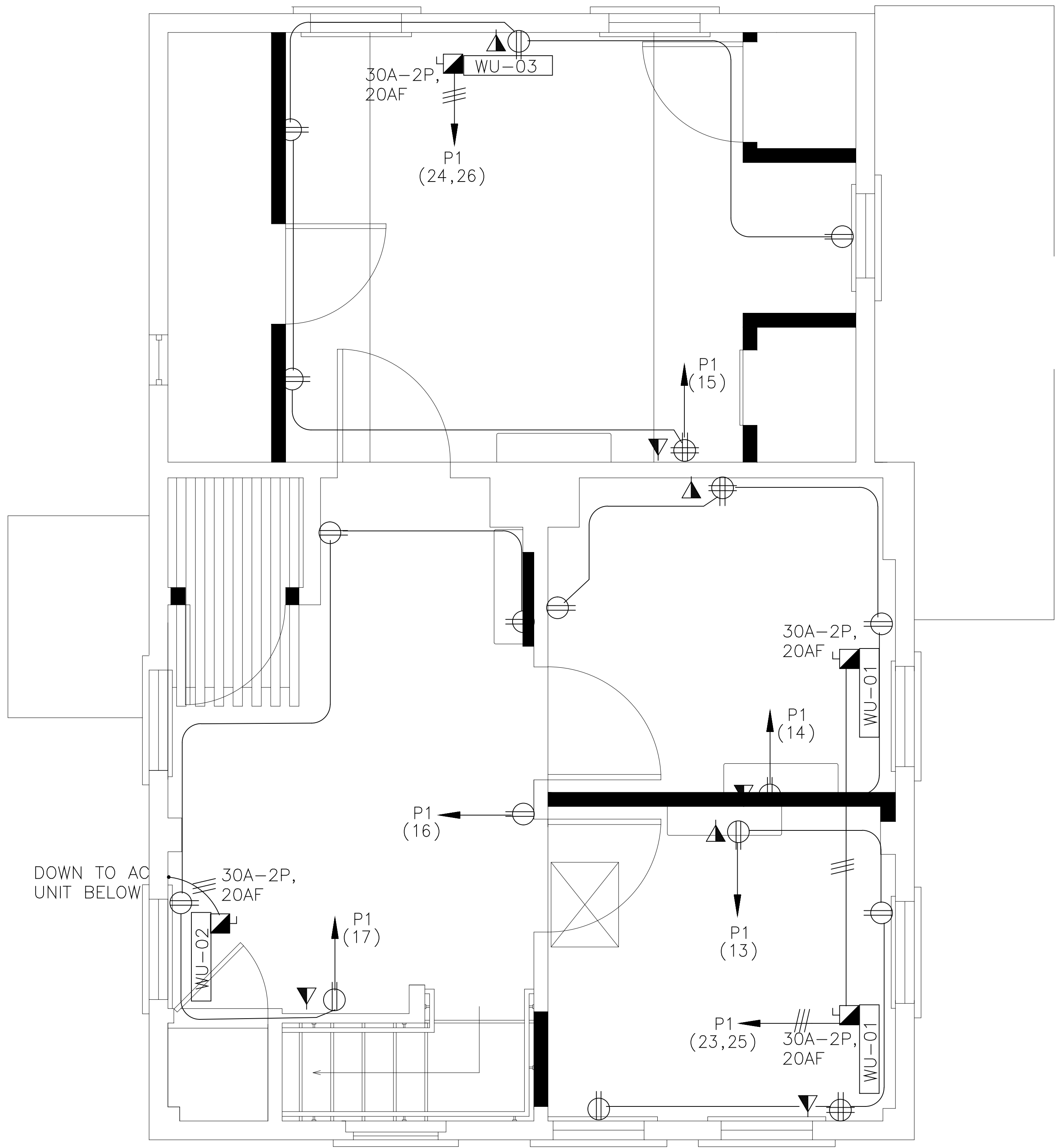
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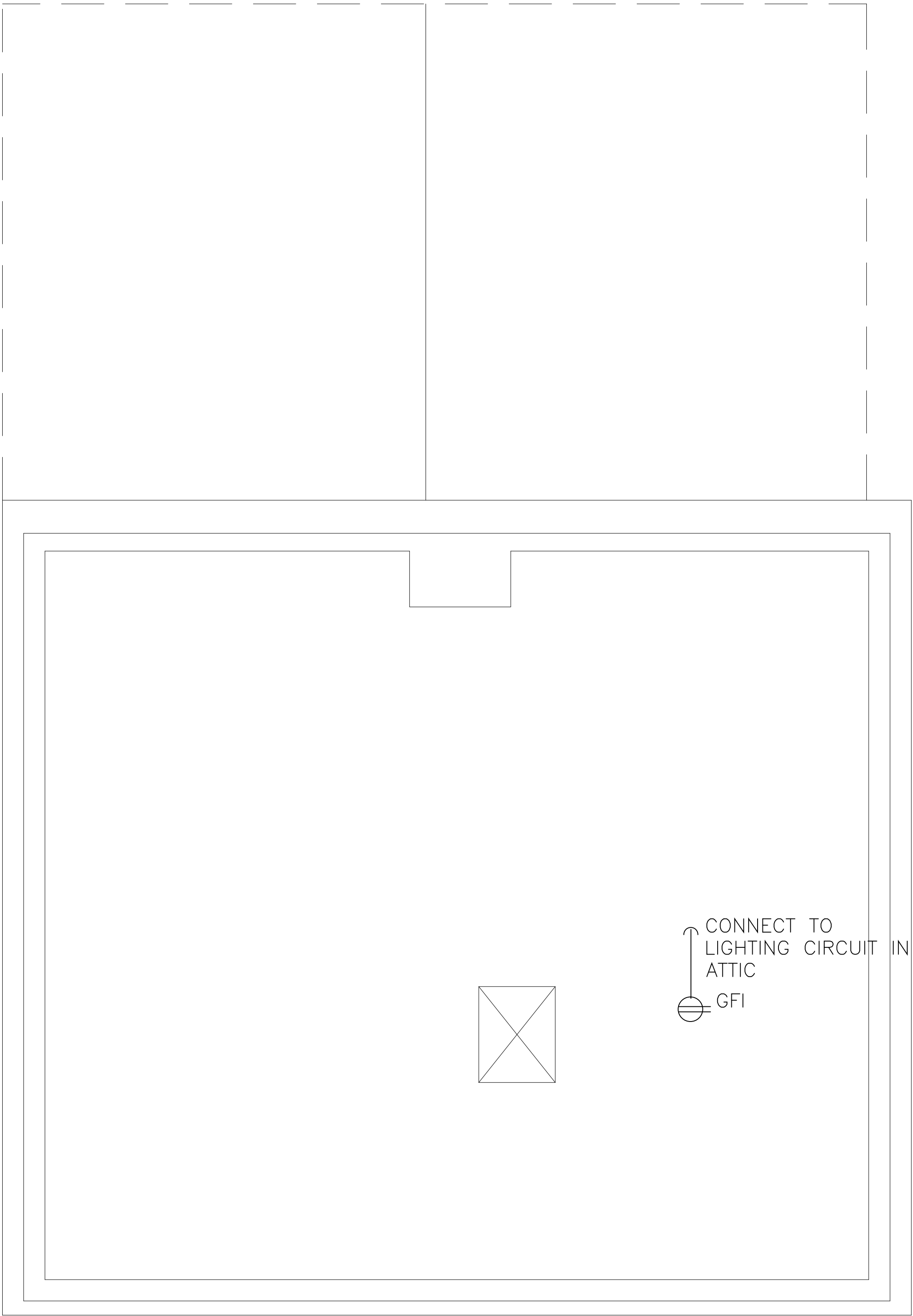
**COTTAGE - SECOND &
ATTIC FLOOR PLANS
LIGHTING**

SHEET #:

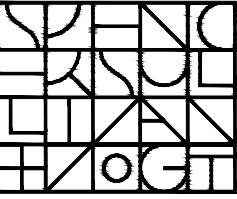
E2.1



SECOND FLOOR PLAN - POWER
Scale: 1/2"=1'-0"




ATTIC FLOOR PLAN - POWER
Scale: 1/2"=1'-0"

ARCHITECT:



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OWNER:


Town of Arlington
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Arlington, MA 02476-4906

PROJECT: #1928.00

**WHITEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE/CARRIAGE HOUSE
INTERIOR REHABILITATION**

670R Massachusetts Avenue
Arlington, MA 02476

KEY:


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00	Xxx. 00, 0000	DESCRIPTION

ISSUANCES:

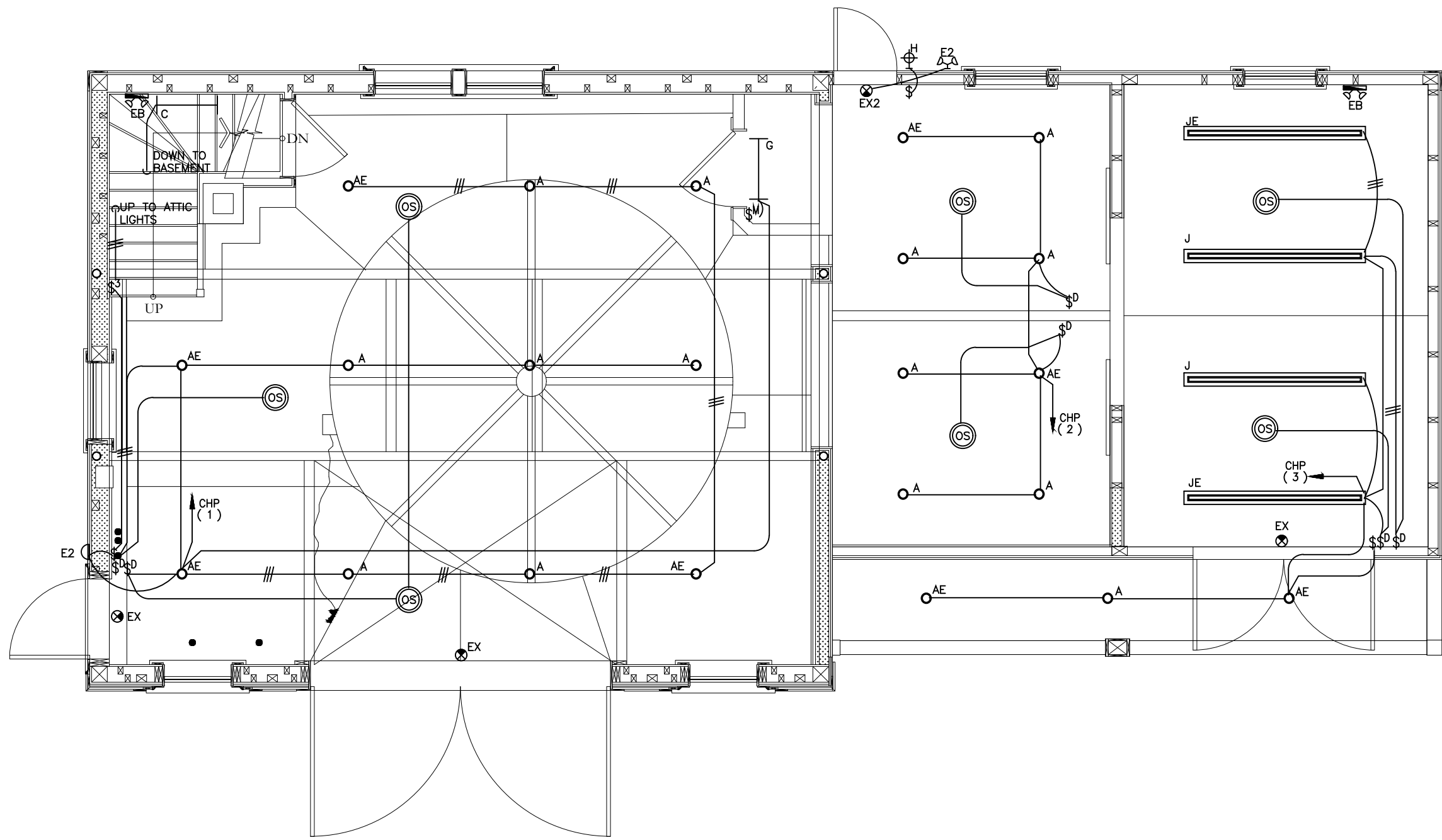
SEAL:

SHEET TITLE:

**COTTAGE - SECOND &
ATTIC FLOOR PLANS
POWER**

SHEET #:

E2.2

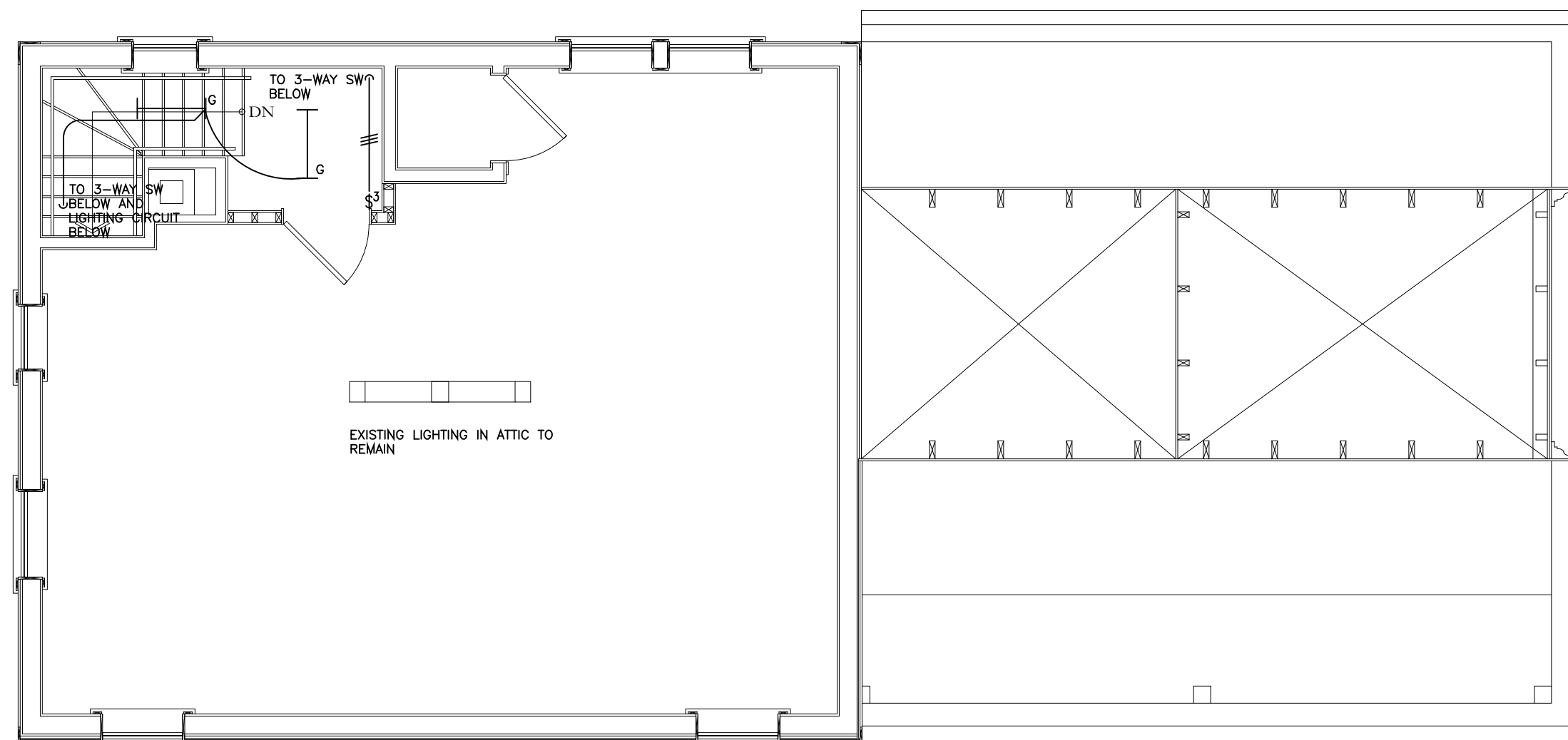


FIRST FLOOR PLAN - (CARRIAGE HOUSE) LIGHTING

Scale: 1/4"=1'-0"

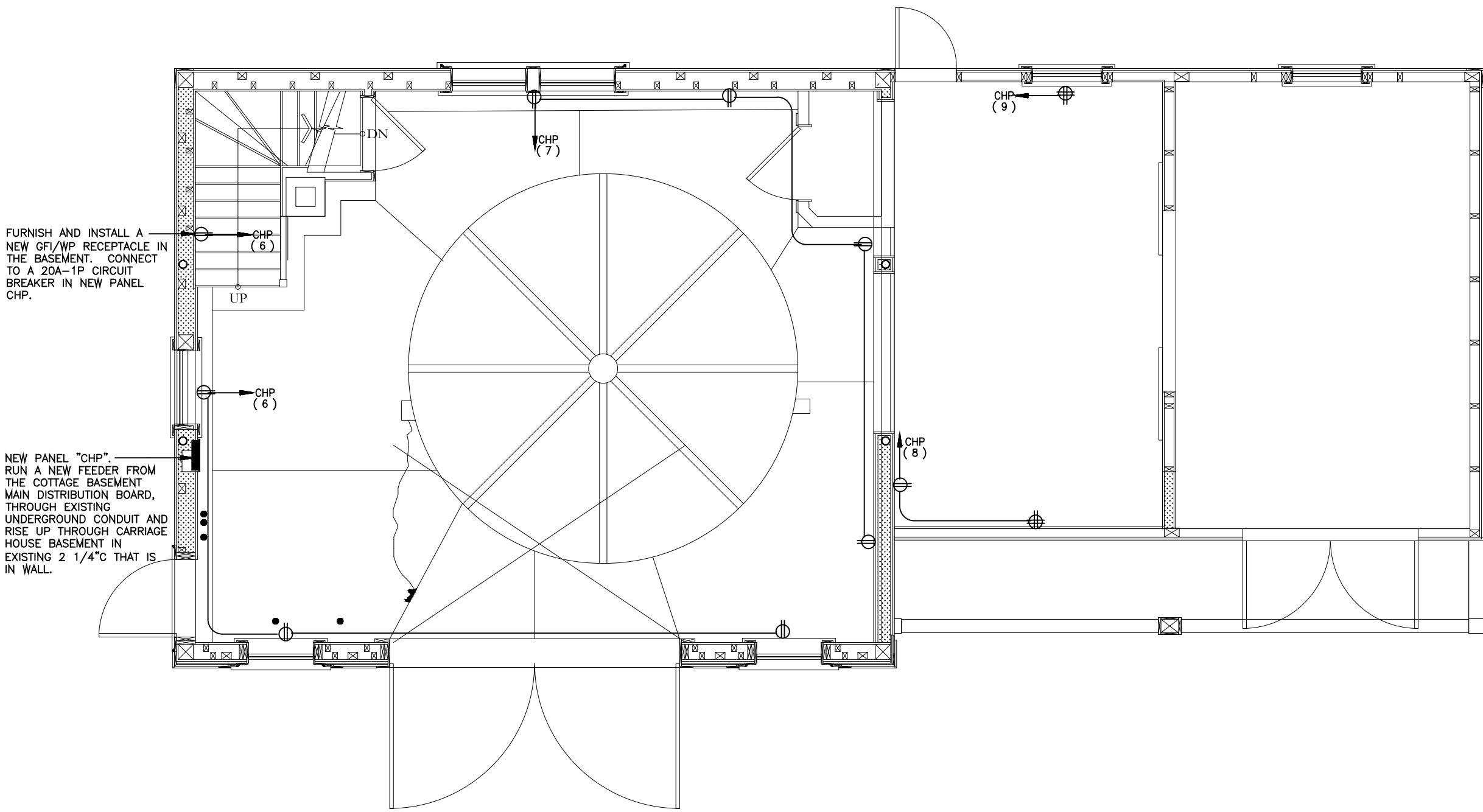
NOTE:
EXIT SIGNS AND EMERGENCY BATTERY
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NOTE:
FURNISH AND INSTALL A CONSTANT VOLTAGE
CIRCUIT FOR ALL LIGHTING FIXTURES WITH
INTERNAL EMERGENCY DRIVERS.



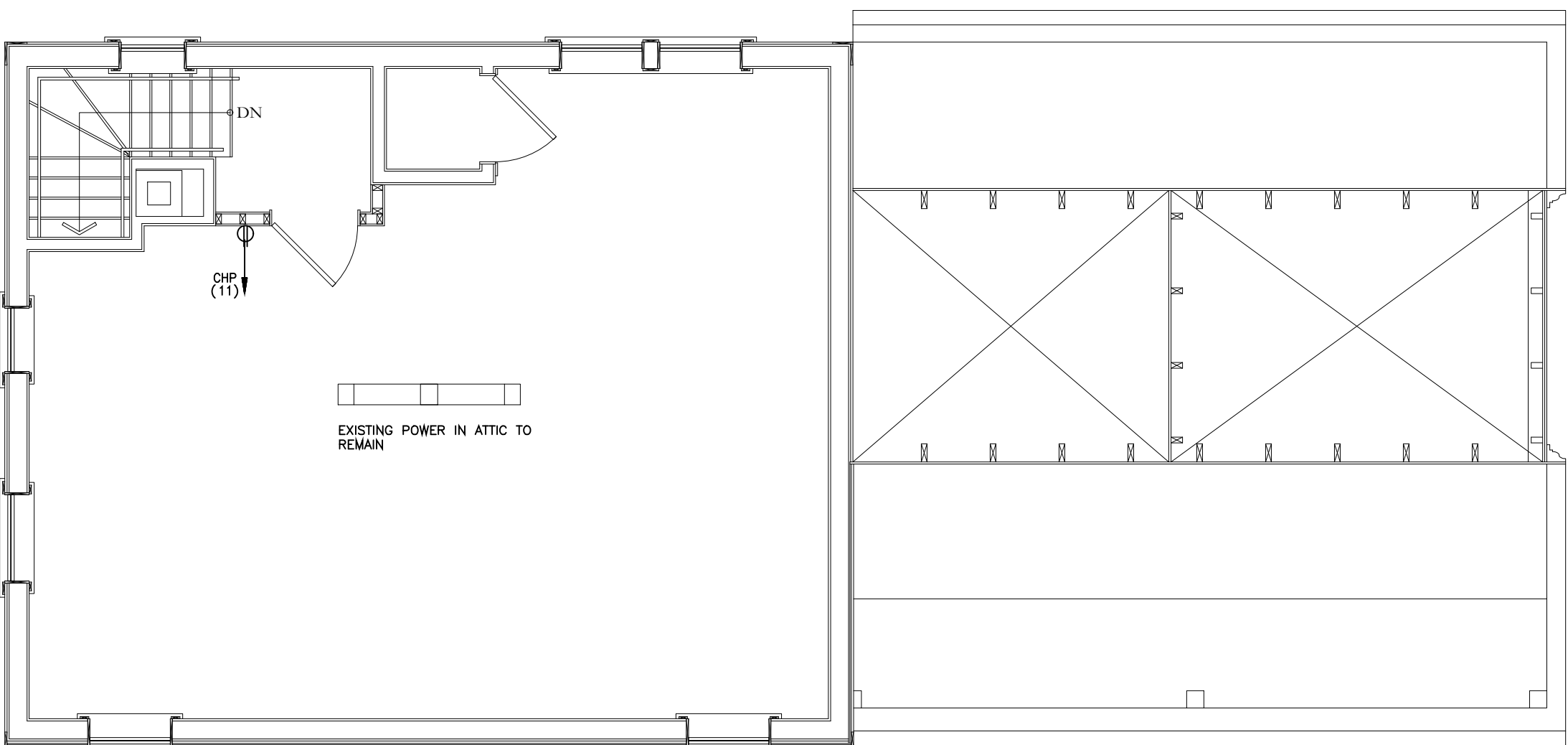
ATTIC FLOOR PLAN - (CARRIAGE HOUSE) LIGHTING

Scale: 1/4"=1'-0"



FIRST FLOOR PLAN - (CARRIAGE HOUSE) POWER

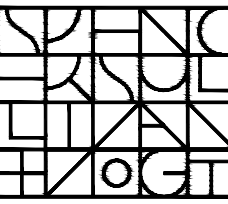
Scale: 1/4"=1'-0"



ATTIC FLOOR PLAN - (CARRIAGE HOUSE) POWER

Scale: 1/4"=1'-0"

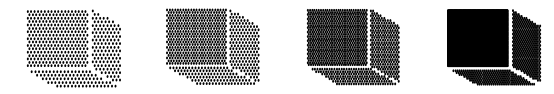
ARCHITECT:



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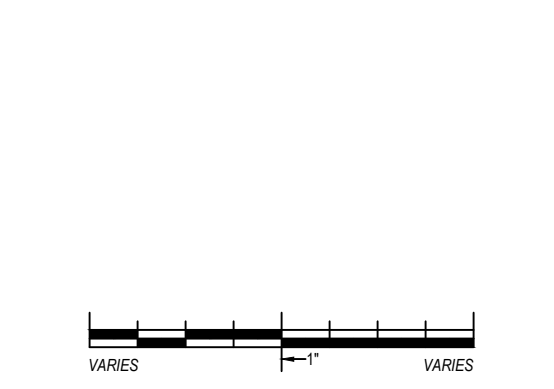
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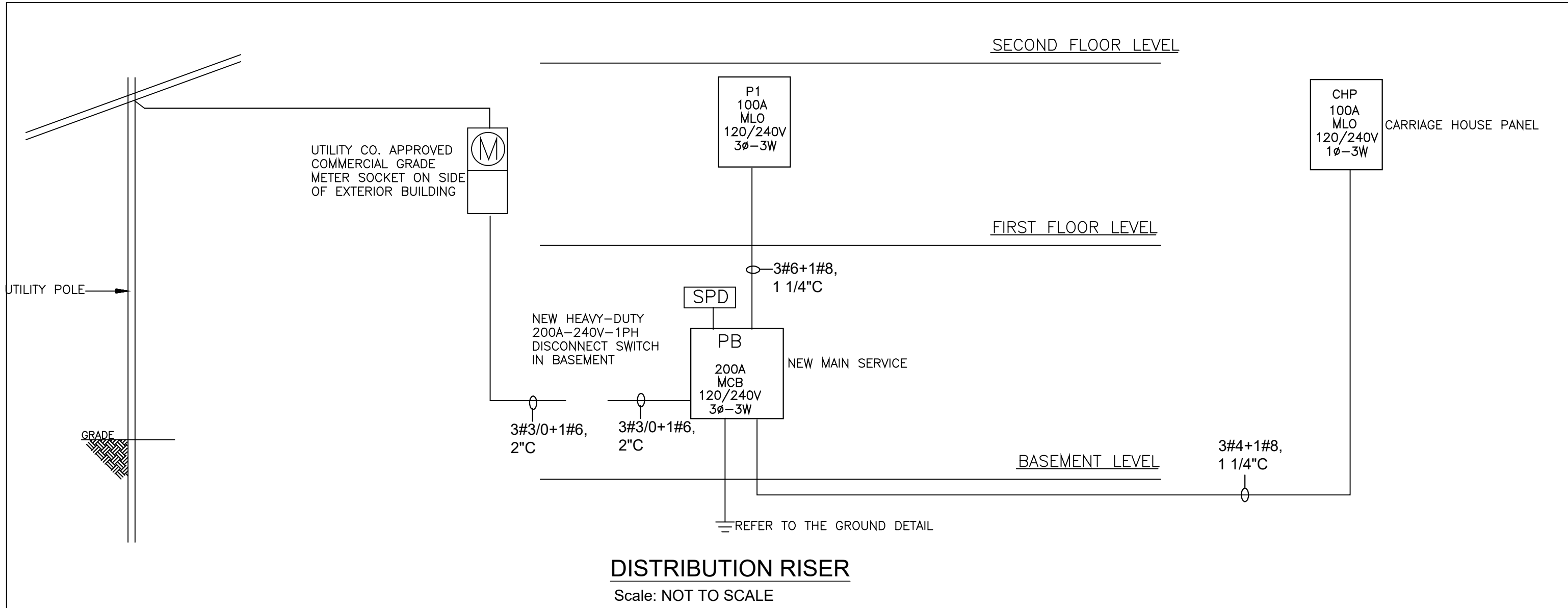
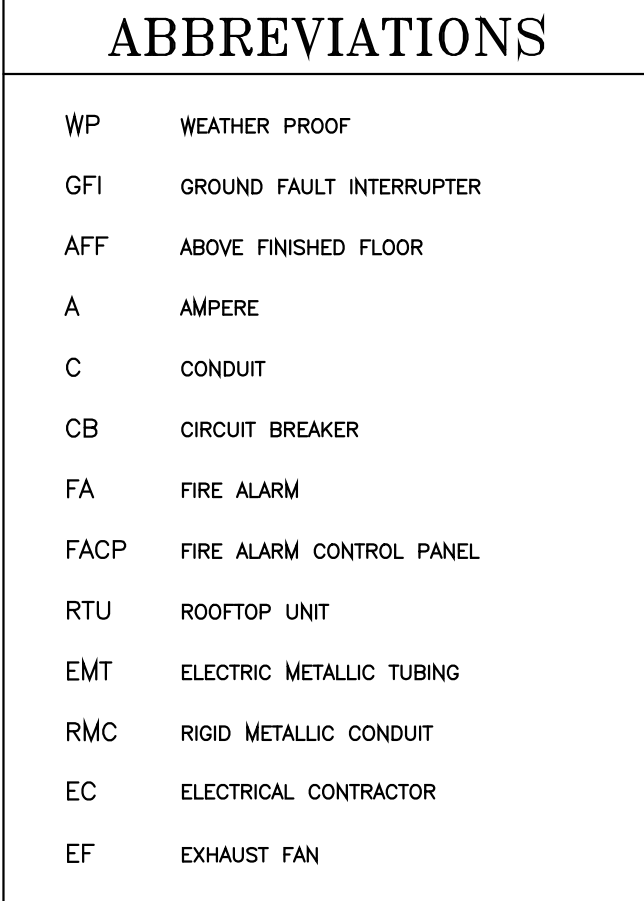
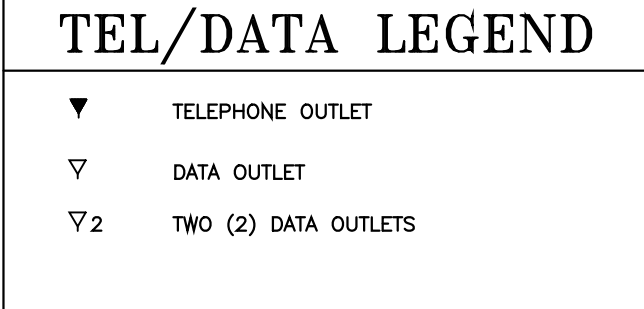
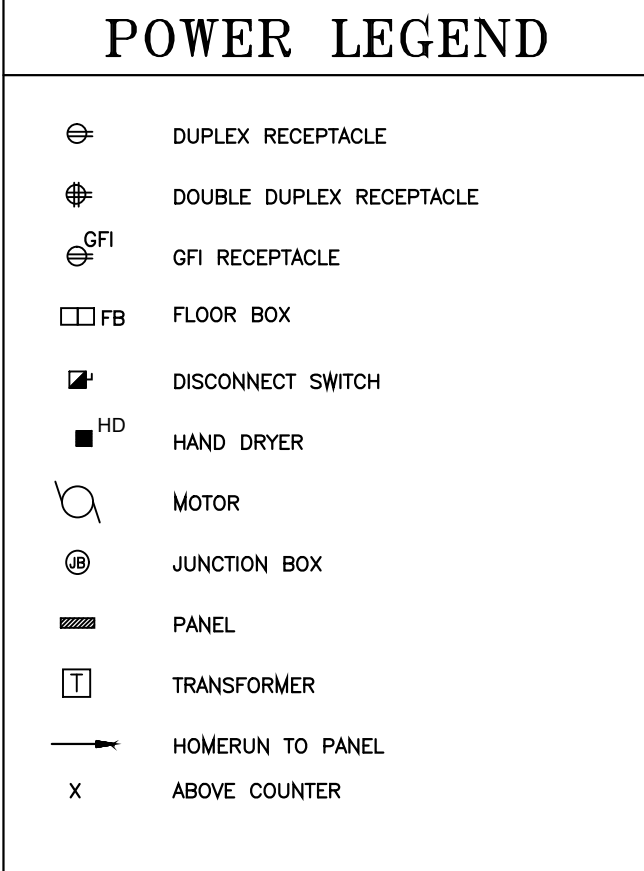
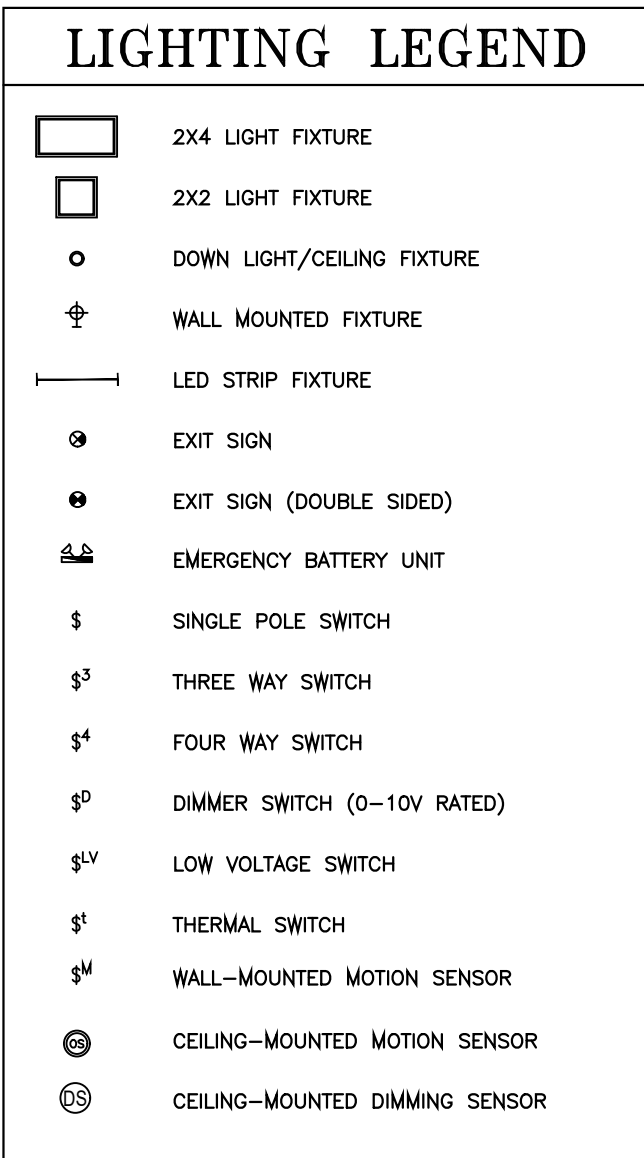
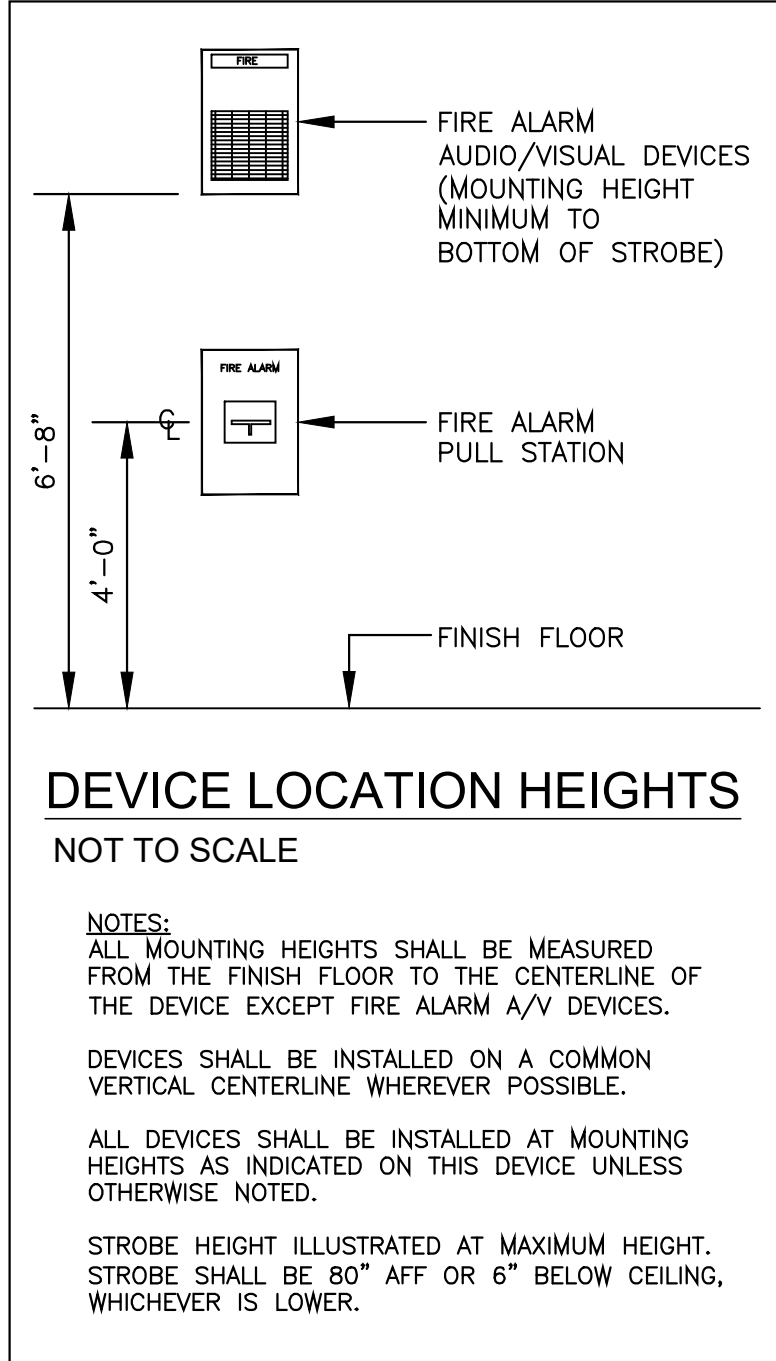
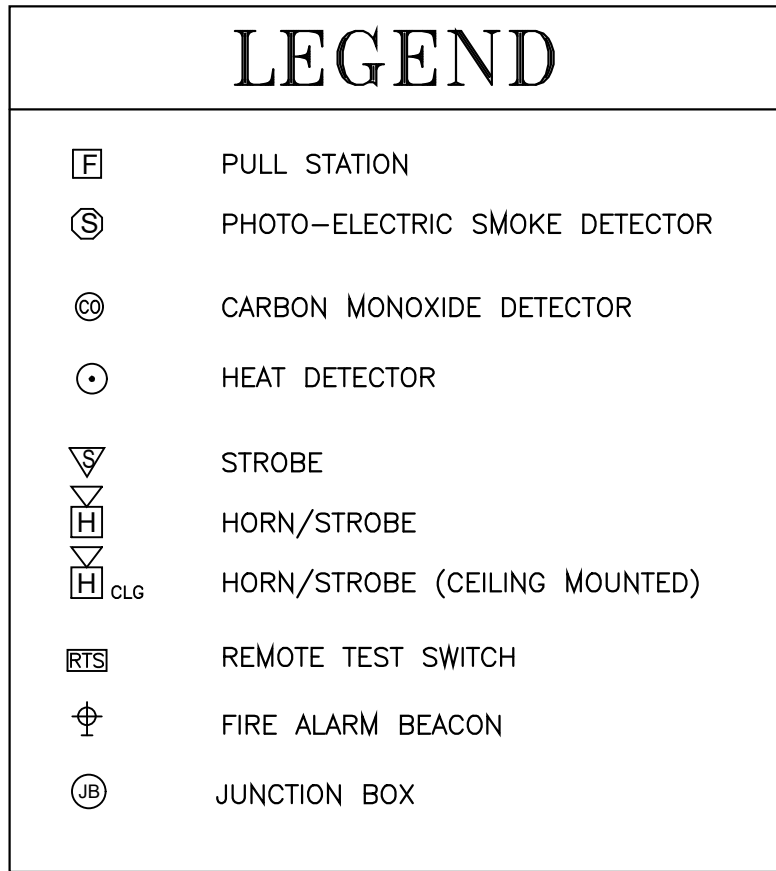
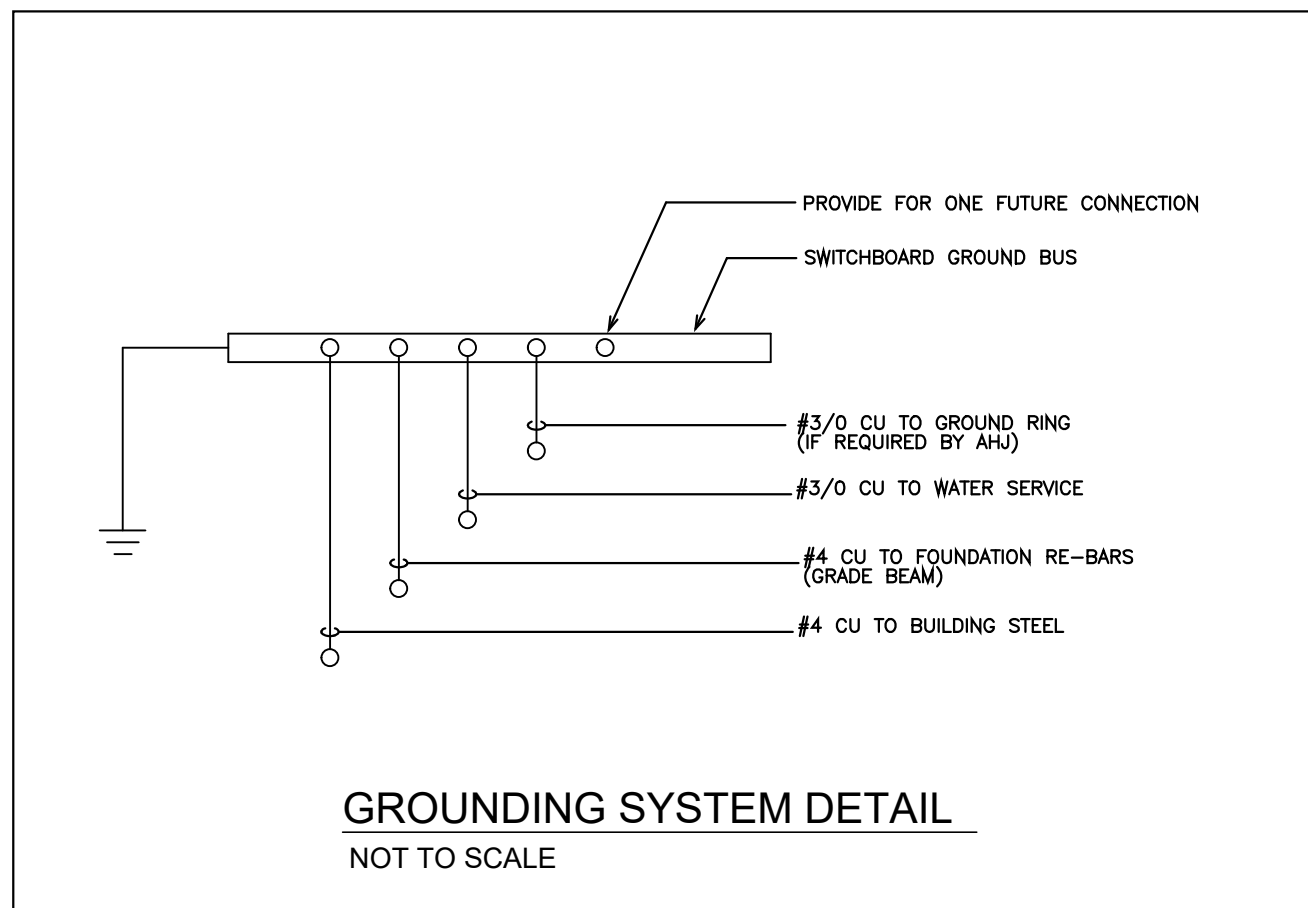
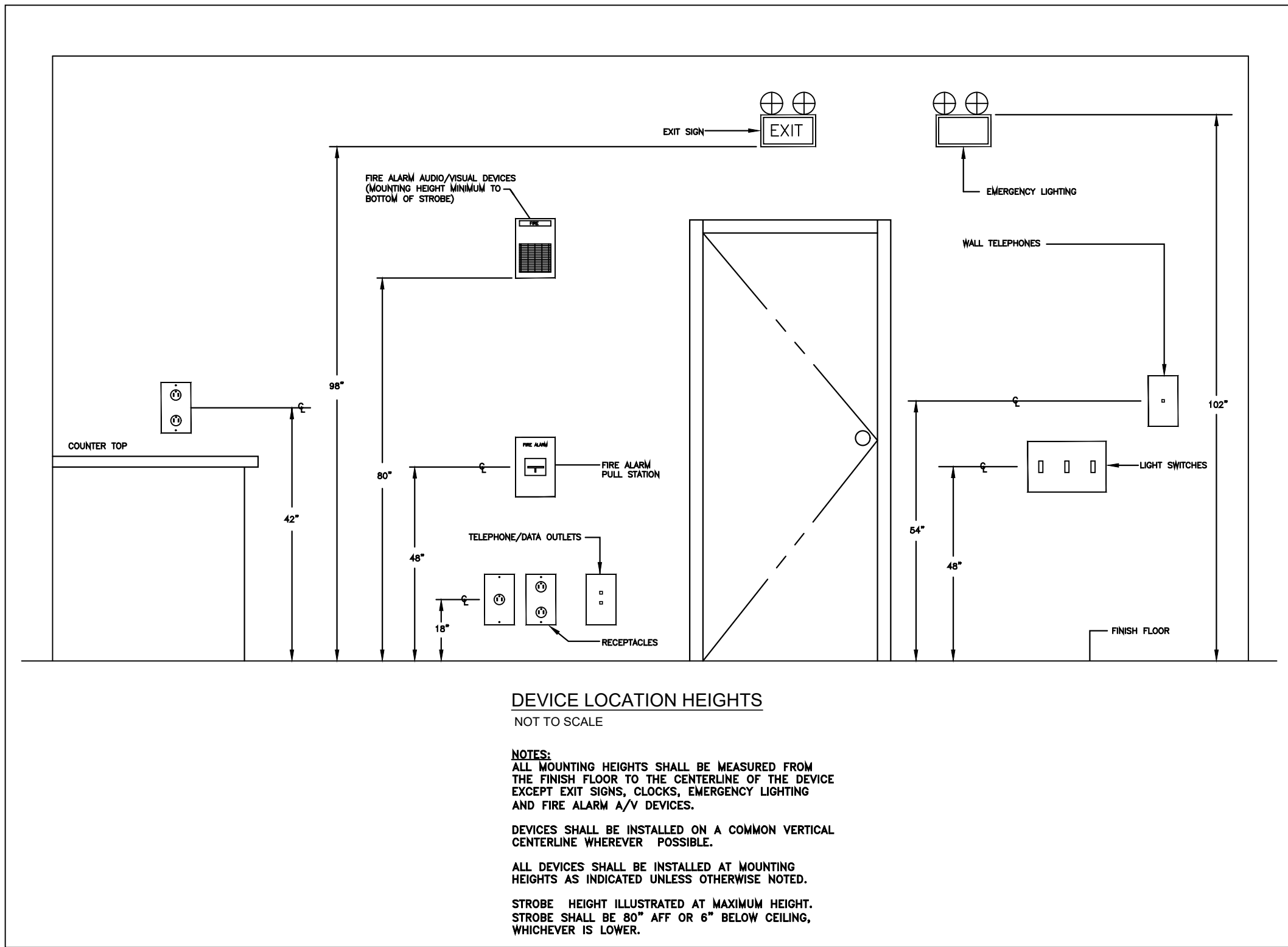
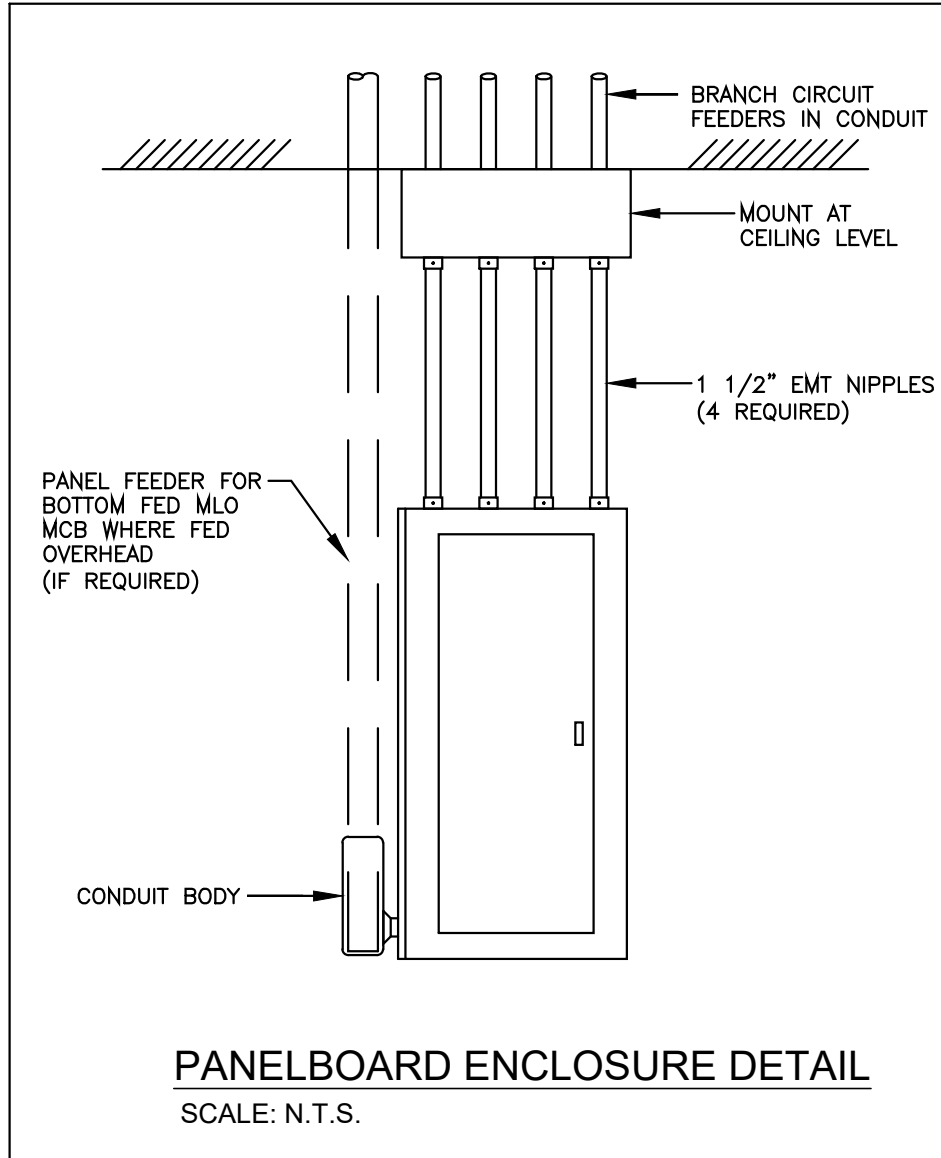
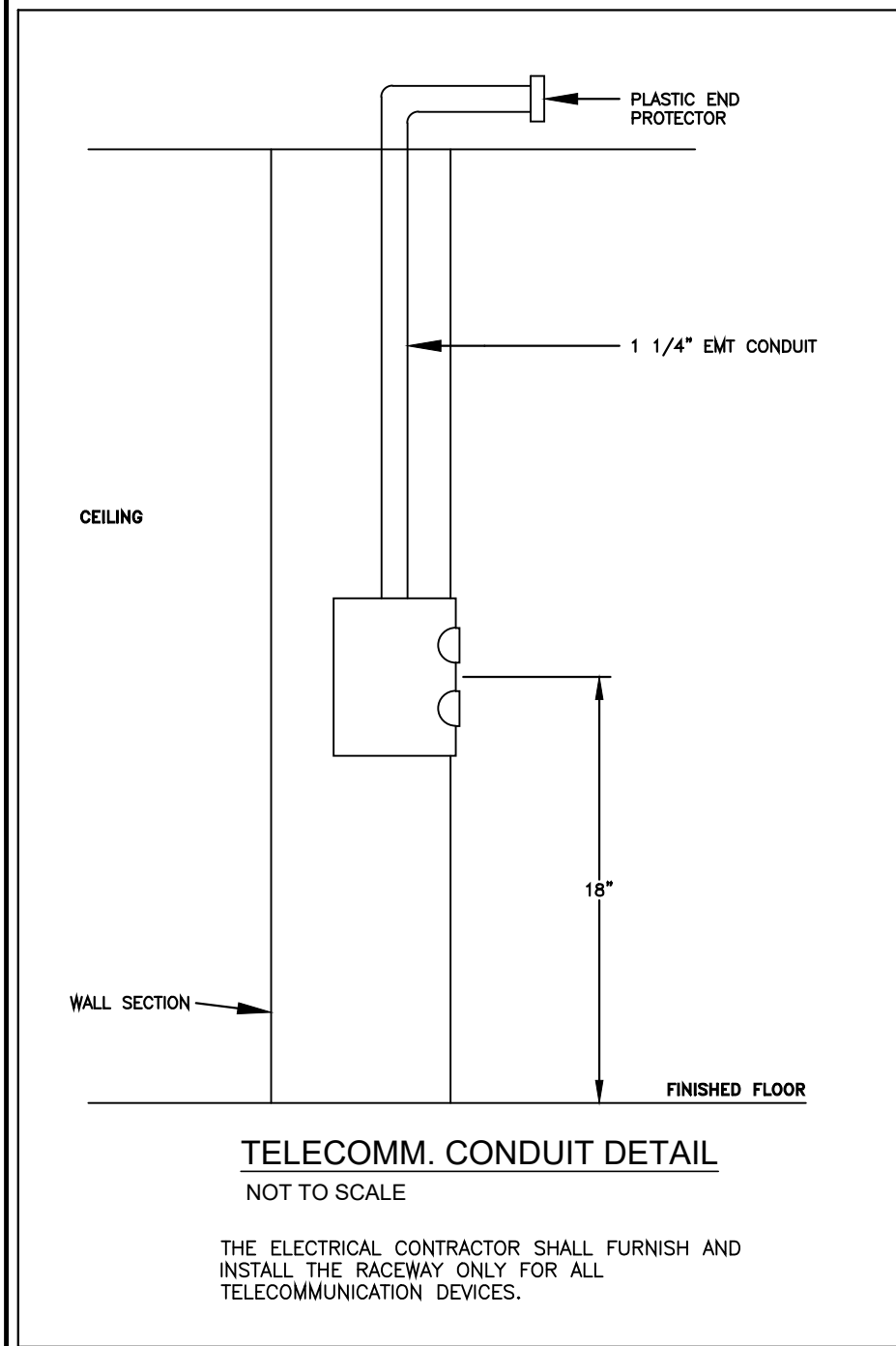
ISSUANCES:

SEAL:

SHEET TITLE:
**CARRIAGE HOUSE FIRST
& ATTIC FLOOR PLANS
LIGHTING/POWER**

SHEET #:

E3.1



PANEL: PB			
MAIN: 200A MCB			
VOLTAGE: 120/240V			
PHASE: 1 WIRE: 3			
TYPE: CUTLER-HAMMER CO. OR EQUAL			
1	2		
3	4		
5	6		
7	8		
9 BASEMENT LIGHTING	20 1	10 EXTERIOR LIGHTING/TIME CLOCK	20 1
11 BASEMENT TELEPHONE QUAD REC	20 1	12 BASEMENT CABLE QUAD REC	20 1
13 BASEMENT RECS	20 1	14 BASEMENT SUMP PUMP	20 1
15 BASEMENT HOT WATER HEATER	20 1	16 BASEMENT EXISTING HOT WATER TANK	20 1
17 BASEMENT EXISTING BOILER	20 1	18 SPARE	20 1
19 SPARE	20 1	20 SPARE	20 1
21 SPARE	20 1	22 SPARE	20 1
23 SPARE	20 1	24 SPARE	20 1
25	26		
27	28		
29	30		
31	32		
33	34		
35	36		
37	38		
39	40		
41	42		

PANEL: P1			
MAIN: 100A MLO			
VOLTAGE: 120/240V			
PHASE: 1 WIRE: 3			
TYPE: CUTLER-HAMMER CO. OR EQUAL			
CIR	DESCRIPTION	TRIP	POLE
1	FIRST FLOOR LIGHTING	20 1	
3	TOILET RMS/FOYER RECS	20 1	
5	LOBBY COUNTER REC	20 1	
7	OFFICE #1 RECS	20 1	
9	LOBBY COPIER	20 1	
11	SECOND FLOOR LIGHTING	20 1	
13	SECOND FLOOR OFFICE #3 RECS	20 1	
15	SECOND FLOOR OFFICE #5 RECS	20 1	
17	SECOND FLOOR LOBBY RECS	20 1	
19		20	
21		22	
23		24	
25		26	
27	SPARE	20 1	28 SPARE
29	SPARE	20 1	30 SPARE
31	SPARE	20 1	32 SPARE
33	SPARE	20 1	34 SPARE
35	SPARE	20 1	36 SPARE

PANEL: P1			
MAIN: 100A MLO			
VOLTAGE: 120/240V			
PHASE: 1 WIRE: 3			
TYPE: CUTLER-HAMMER CO. OR EQUAL			
CIR	DESCRIPTION	TRIP	POLE
1	FIRST FLOOR & ATTIC LIGHTING	20 1	
3	FIRST FLOOR & ATTIC LIGHTING	20 1	
5	FIRST FLOOR RECS	20 1	
7	FIRST FLOOR RECS	20 1	
9	FIRST FLOOR RECS	20 1	
11	ATTIC REC	20 1	
13	SPARE	20 1	
15	SPARE	20 1	
17	SPARE	20 1	
19	SPARE	20 1	
21		22	
23		24	
25		26	
27		28	
29		30	

LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOGUE #	LAMPING			REMARKS
			TYPE	WATTAGE	QUANTITY	
A	HALO	PR4RF12D010	LED	10	1	4" LED DOWN LIGHT
AE	HALO	PR4RF12D010-REM14	LED	10	1	4" LED DOWN LIGHT W/EMERG.
B	OXYGEN	35753524	LED	14	1	2' LED WALL-MT LINEAR LIGHT
C	METALUX	2SNLEDL522SLLNUNV8B35CD1	LED	12	1	2' LED CLOSET LIGHT W/ OCC. SENSOR
D	ELK	FML5001098	LED	18	1	ROUND LED SURFACE LIGHT IN SIDE ENTRY
E	NONE					
F	METALUX	4SNLEDL522SLLNUNV8B35CD1	LED	22	1	4' LED STRIP LIGHT
G	HALO	HU30ADV-18P	LED	11	1	18" LED UNDERCABINET LIGHT
H	TECH LTG	7000WASPWB30DHUNVS	LED	15	1	LED OUTDOOR WALL-MOUNT LIGHT
I	NONE					
J	NEORAY	S122DRS67508035-XX-6'FO1UDDFW	LED	22	1	6' LED RECESSED LINEAR LIGHT FIXTURE
JE	NEORAY	S122DRS67508035-XX-6'FO1-B2-UDDFW	LED	22	1	6' LED RECESSED LINEAR LIGHT W/EMERG.
EX	ISOLITE	EUG-EM-R-1C-MTG	LED	3	1	UNIVERSAL EXIT SIGN
EB	ISOLITE	BUG6WWHMB	LED	3	1	WALL-MT EMERGENCY BATTERY UNIT W/HEADS
E2	ISOLITE	ELEDEMB2MBHX	LED	3	1	WALL-MT OUTDOOR NORMAL/EMERGENCY LIGHT

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REFERENCE NO.: 21169

OWNER:

TOWN OF ARLINGTON
MASSACHUSETTS

Town of Arlington
730 Massachusetts Avenue
Arlington, MA 02476-4906

PROJECT: #1928.00

WHITTEMORE-ROBBINS
ESTATE
REHABILITATION OF
THREE BUILDINGS
COTTAGE/CARRIAGE HOUSE
INTERIOR REHABILITATION

670R Massachusetts Avenue
Arlington, MA 02476

KEY:

00 Xxx.00,0000 DESCRIPTION
DATE DESCRIPTION
ISSUANCES:
SEAL:

SHEET TITLE:
**LEGEND, SCHEDULES
AND DETAILS**

SHEET #:
E4.1

LEGEND

F

PULL STATION

S

PHOTO-ELECTRIC SMOKE DETECTOR

@

CARBON MONOXIDE DETECTOR

○

HEAT DETECTOR

▽

STROBE

▽

HORN/STROBE

▽

HORN/STROBE (CEILING MOUNTED)

RTS

REMOTE TEST SWITCH

⊕

FIRE ALARM BEACON

@

JUNCTION BOX

FIRE ALARM AUDIO/VISUAL DEVICES (MOUNTING HEIGHT MINIMUM TO BOTTOM OF STROBE)

FIRE ALARM PULL STATION

6'-8"

4'-0"

FINISH FLOOR

DEVICE LOCATION HEIGHTS

NOT TO SCALE

NOTES:

ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM THE FINISH FLOOR TO THE CENTERLINE OF THE DEVICE EXCEPT FIRE ALARM A/V DEVICES.

DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE WHEREVER POSSIBLE.

ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DEVICE UNLESS OTHERWISE NOTED.

STROBE HEIGHT ILLUSTRATED AT MAXIMUM HEIGHT. STROBE SHALL BE 80" AFF OR 6" BELOW CEILING, WHICHEVER IS LOWER.

BASEMENT FLOOR PLAN - FIRE ALARM
Scale: 1/2"=1'-0"

FIRST FLOOR PLAN - FIRE ALARM
Scale: 1/2"=1'-0"

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KEY:

VARIES

1"

VARIES

#	DATE	DESCRIPTION
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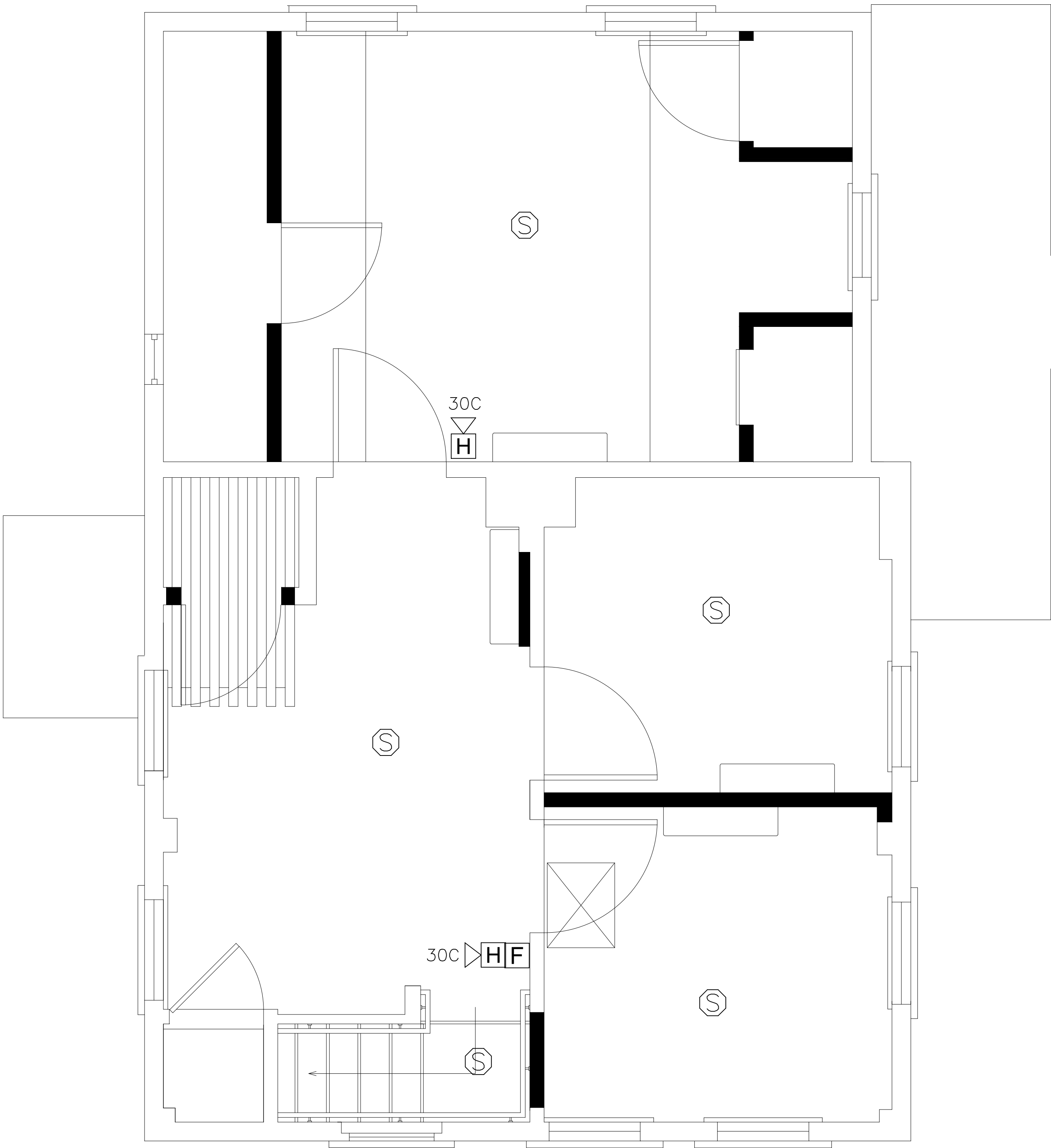
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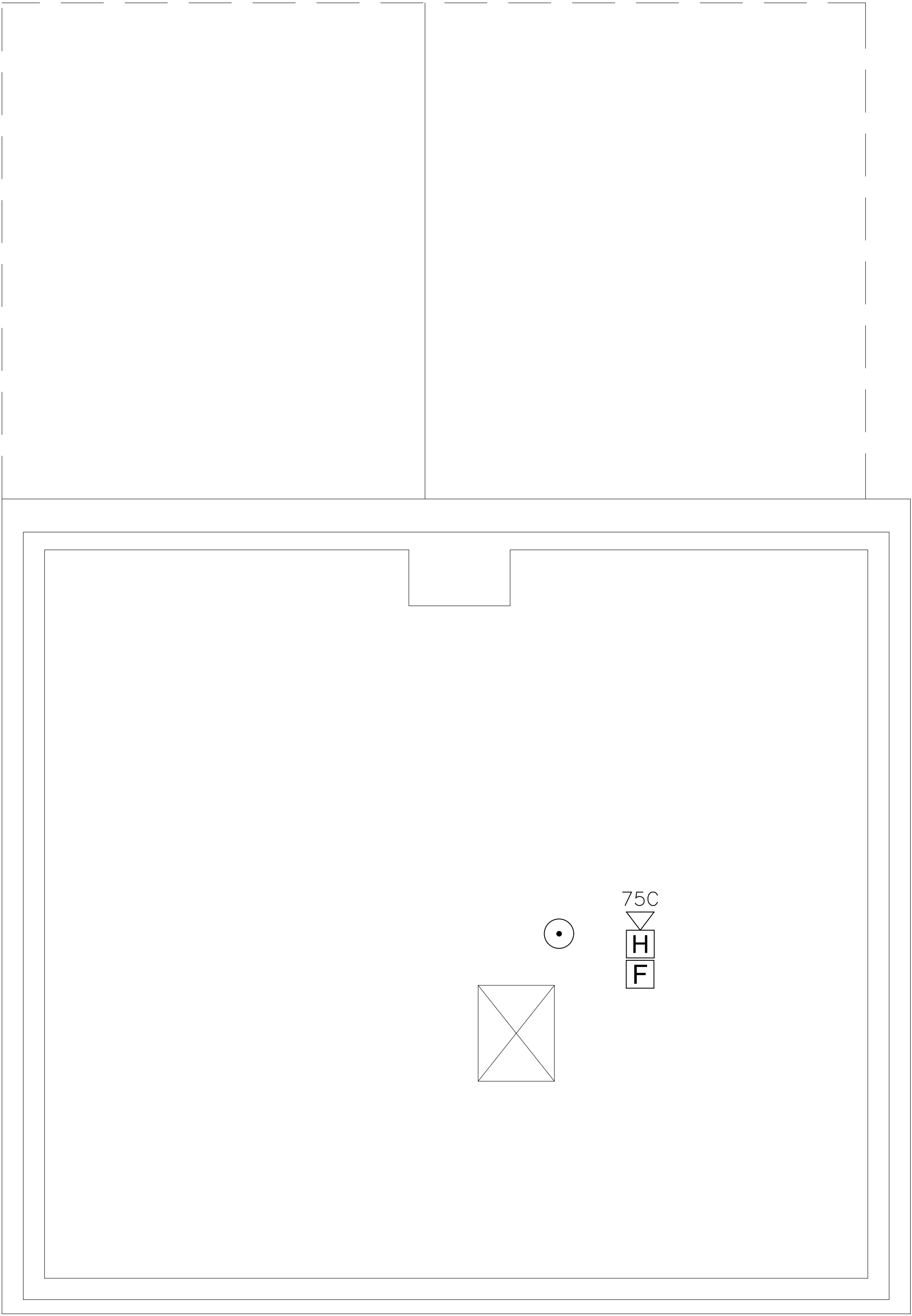
COTTAGE - BASEMENT &
FIRST FLOOR PLANS
FIRE ALARM

SHEET #:

FA.1

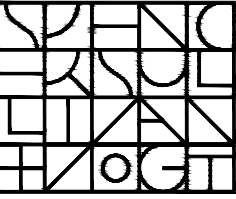


SECOND FLOOR PLAN - FIRE ALARM
Scale: 1/2"=1'-0"




ATTIC FLOOR PLAN - FIRE ALARM
Scale: 1/2"=1'-0"

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KEY:



VARIES 1" VARIES

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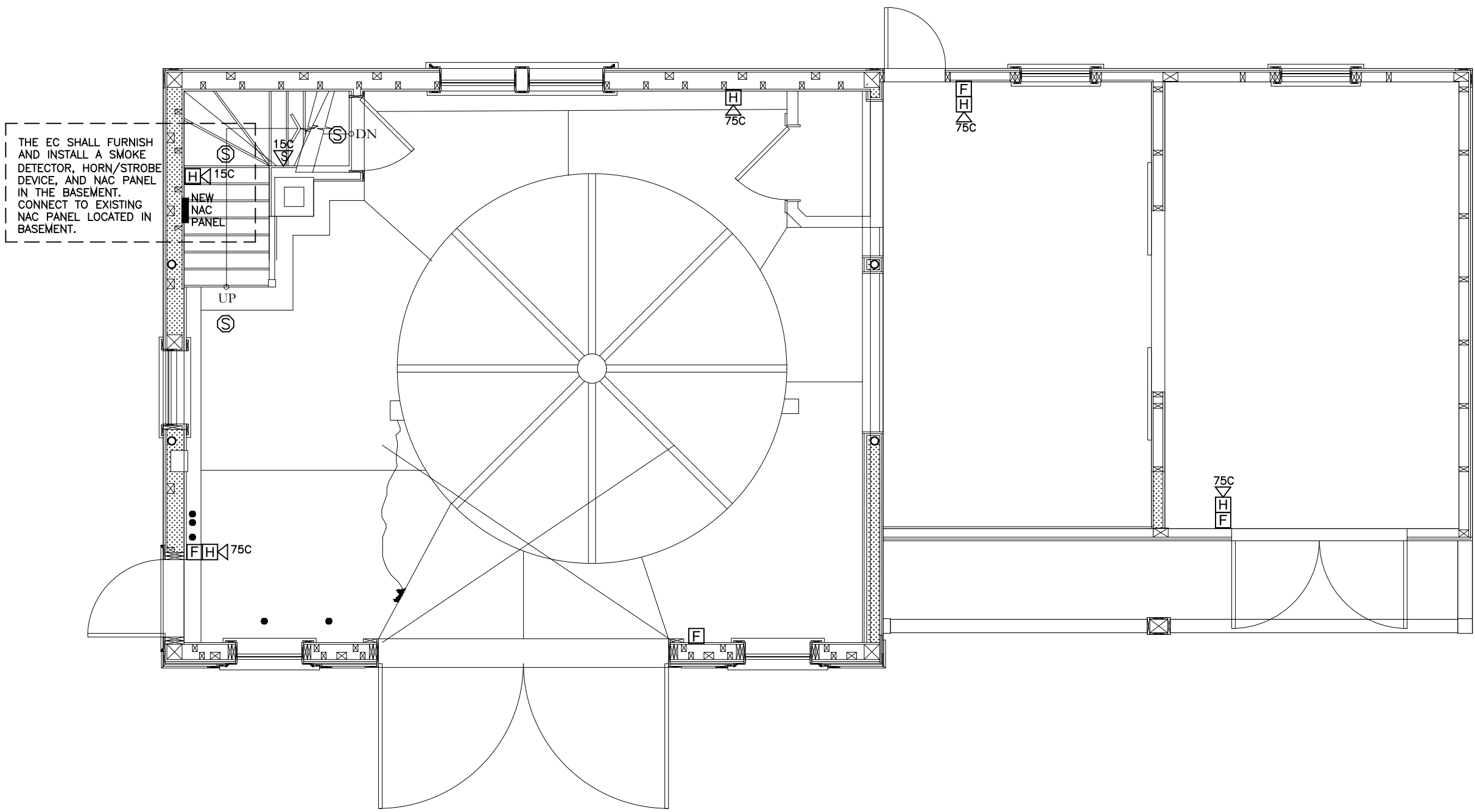
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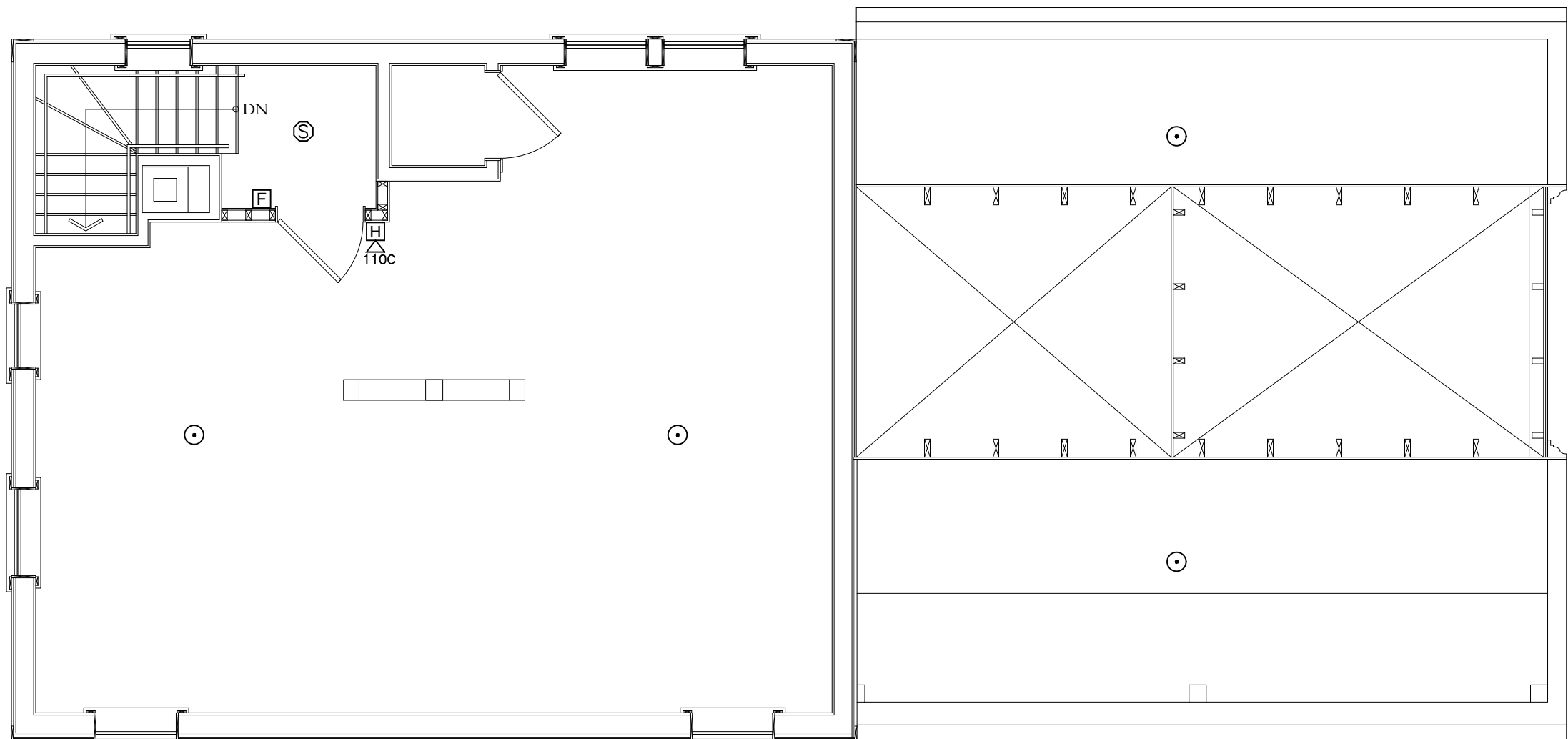
**COTTAGE - SECOND &
ATTIC FLOOR PLANS
FIRE ALARM**

SHEET #:

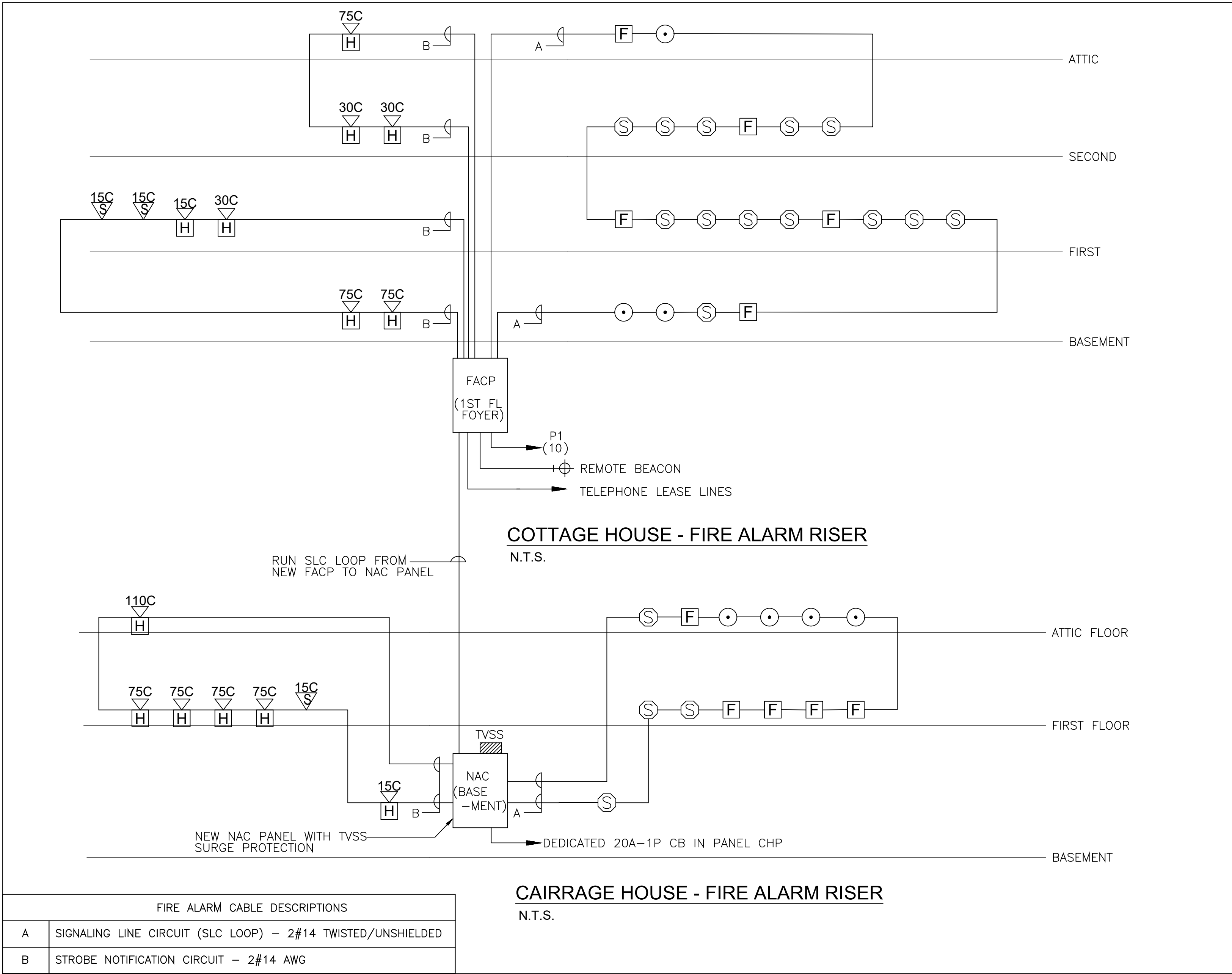
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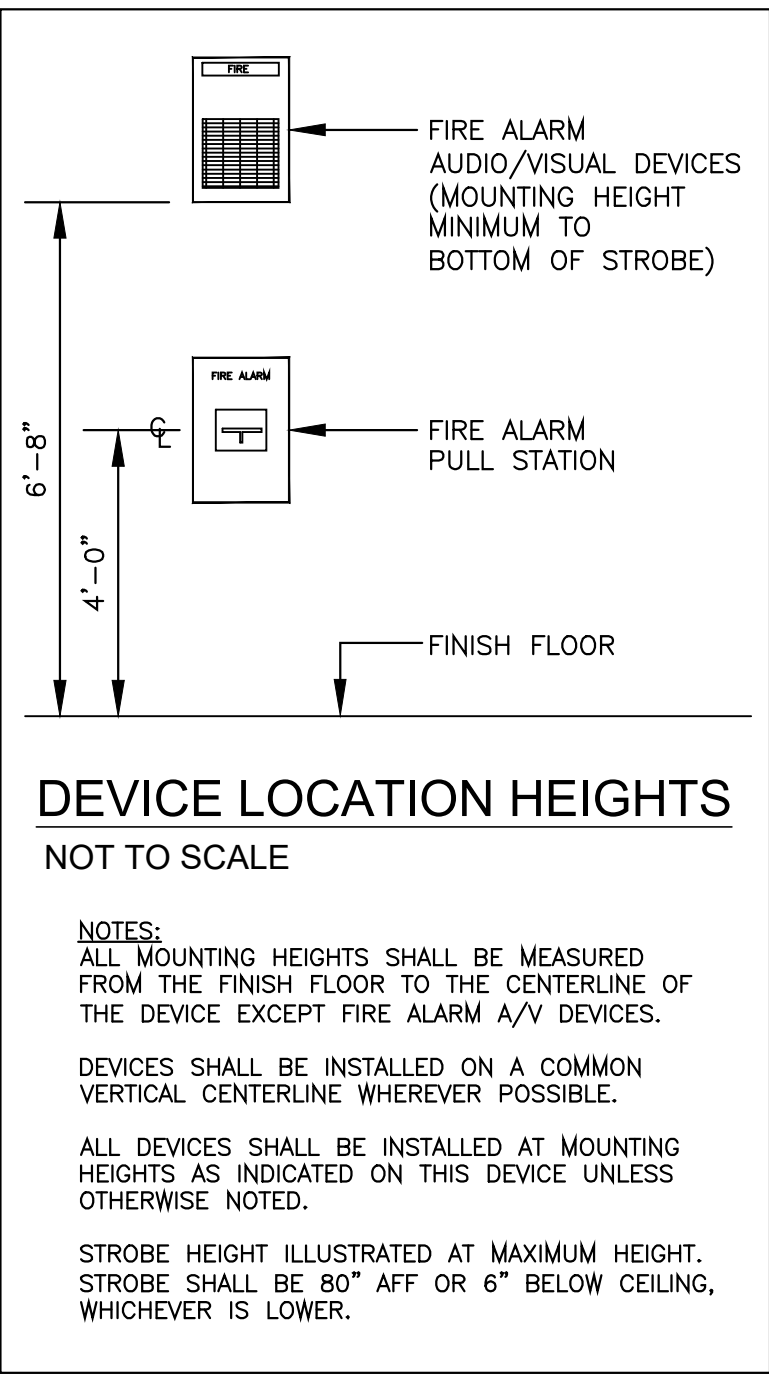
FIRST FLOOR PLAN - (CARRIAGE HOUSE) FIRE ALARM
Scale: 1/4"=1'-0"



ATTIC FLOOR PLAN - (CARRIAGE HOUSE) FIRE ALARM
Scale: 1/4"=1'-0"



LEGEND	
	PULL STATION
	PHOTO-ELECTRIC SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	STROBE
	HORN/STROBE
	HORN/STROBE (CEILING MOUNTED)
	REMOTE TEST SWITCH
	FIRE ALARM BEACON
	JUNCTION BOX



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ISSUANCES:

SEAL:

SHEET TITLE:

CARRIAGE HOUSE
FIRST & ATTIC FLOOR
PLANS - FIRE ALARM

SHEET #:

FA.3